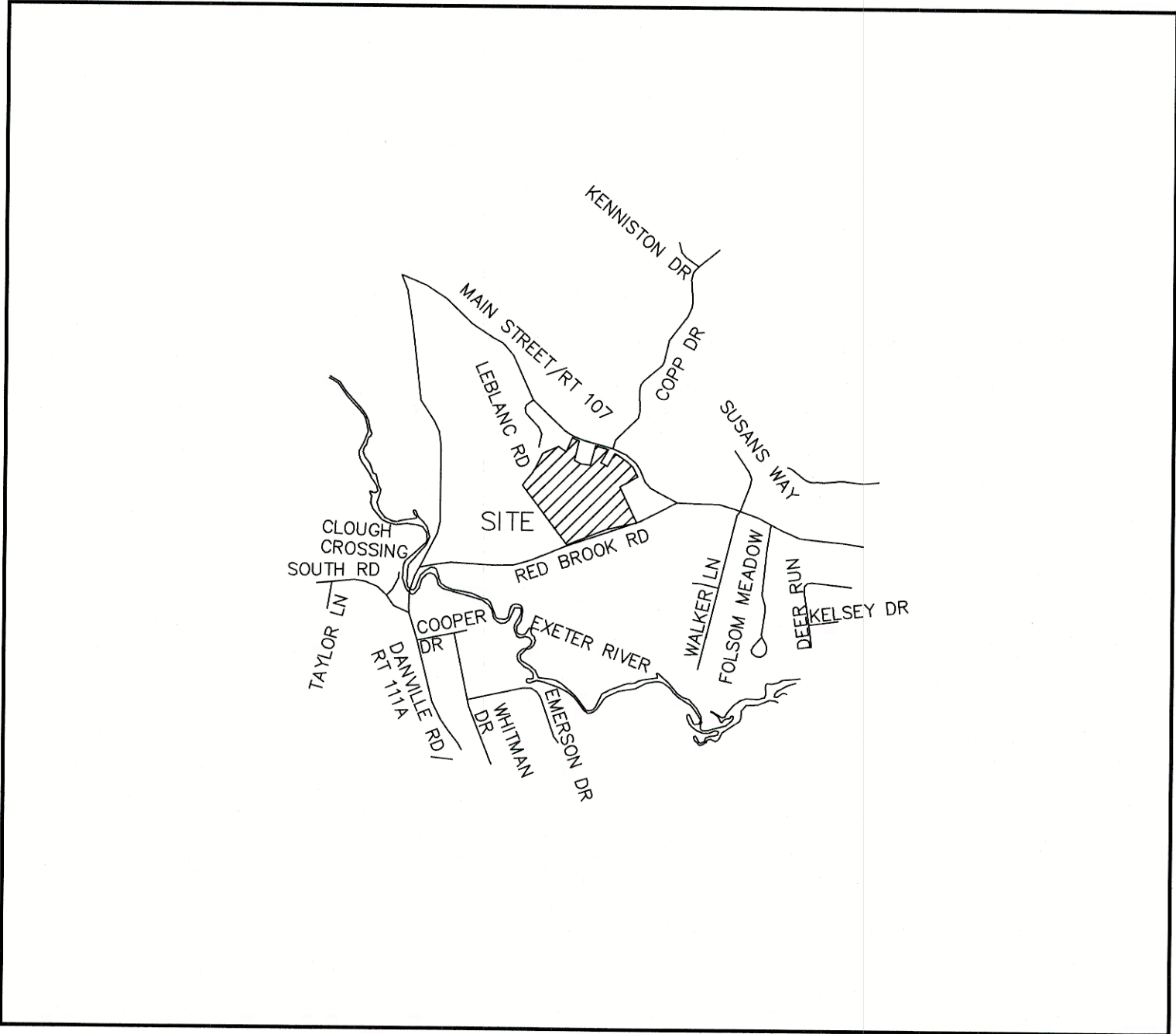


SITE PLAN
MAIN STREET TOWNHOMES
TAX MAP 2 LOT 70
MAIN STREET, FREMONT, NH

SHEET INDEX

CS	COVER SHEET
C1	OVERALL EXISTING CONDITIONS PLAN
C1A	EXISTING CONDITIONS PLAN
C2	OVERALL SITE PLAN
C2A	SITE PLAN
C3	GRADING AND DRAINAGE PLAN
C4	UTILITY PLAN
P1	PLAN AND PROFILE
S1-S4	SEPTIC DETAIL SHEETS
D1	DETAIL SHEETS
D2	DETAIL SHEETS
E1	EROSION AND SEDIMENT CONTROL DETAILS



LOCUS MAP
SCALE 1" = 2000'

APPLICANT / DEVELOPER

HAUS EMILY, LLC
56 WESTVILLE ROAD, UNIT 4
PLAISTOW, NH 03865
(603) 382-1715
CONTACT: GARY DENSEN

OWNER OF RECORD

TIMOTHY AND GERALDINE PALMER
706 MAIN STREET
FREMONT, NH 03044
CONTACT: TIMOTHY GERALDINE

ELECTRIC

EVERSOURCE
740 N COMMERCIAL ST
PO BOX 330
MANCHESTER, NH 03105-0330
(800) 662-7764

CIVIL ENGINEER / SURVEYOR

JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: BARRY GIER
EMAIL: BGIER@JONESANDBEACH.COM

WETLAND CONSULTANT

GZA GEOENVIRONMENTAL, INC.
5 COMMERCE PARK NORTH, SUITE 201
BEDFORD, NH 03110
(603) 430-9282
CONTACT: JAMES LONG

TELEPHONE

CONSOLIDATED COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, NH 03840
(603) 427-5525

CABLE TV

COMCAST COMMUNICATION CORPORATION
334-B CALEF HIGHWAY
EPPING, NH 03042-2325
(603) 679-5695

PERMITS

TYPE OF PERMIT

NHDES SUBDIVISION PERMIT:
NEW HAMPSHIRE DEPARTMENT OF
ENVIRONMENTAL SERVICES -
SUBSURFACE SYSTEMS BUREAU
29 HAZEN DRIVE, P.O. BOX 95
CONCORD, NEW HAMPSHIRE 03302-0095
(603) 271-3503
RESPONSIBLE CONSULTANT:
JONES & BEACH ENGINEERS, INC.

STATUS

SUBMITTED:

PERMIT NO.

DATED:

EXPIRATION:

NHDOT DRIVEWAY PERMIT:
NEW HAMPSHIRE DEPARTMENT OF
TRANSPORTATION, DISTRICT SIX
P.O. BOX 740
DURHAM, NEW HAMPSHIRE 03824
(603) 868-1133
RESPONSIBLE CONSULTANT-
JONES & BEACH ENGINEERS, INC.

SUBMITTED:

PERMIT NO.

DATED:

EXPIRATION:

USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT,
NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION
(NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND
LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION:
EPA STORMWATER NOTICE PROCESSING CENTER
MAIL CODE 4203M,
US EPA
1200 PENNSYLVANIA AVENUE, NW
WASHINGTON, DC 20460
RESPONSIBLE CONSULTANT:
JONES & BEACH ENGINEERS, INC.

TYPE OF PERMIT

TOWN OF FREMONT SITE PLAN APPROVAL:
SUBMITTED:
TOWN OF FREMONT PLANNING BOARD
295 MAIN STREET
FREMONT, NEW HAMPSHIRE 03044
(603) 895-2226
RESPONSIBLE CONSULTANT:
JONES & BEACH ENGINEERS, INC.

STATUS

PERMIT NO.

DATED:

EXPIRATION:

PROJECT PARCEL
TOWN OF FREMONT
TAX MAP 2, LOT 70

OWNER
TIMOTHY AND GERALDINE PALMER
706 MAIN STREET
FREMONT, NH 03044
BK 5673, PG 0101

APPLICANT
HAUS EMILY, LLC
56 WESTVILLE ROAD, UNIT 4
PLAISTOW, NH 03865

TOTAL LOT AREA
1,322,917 SQ. FT.
30.37 ACRES

APPROVED – FREMONT, NH
PLANNING BOARD

DATE:

F:\CADD\MASTER STANDARD\dwg\JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design: BWG	Draft: DFP	Date: 10/6/21
Checked: BWG	Scale: AS NOTED	Project No.: 20724
Drawing Name: 20724-PLAN.dwg		
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0	10/6/21	ISSUED FOR REVIEW	BWG
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.

Designed and Produced in NH

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Civil Engineering Services

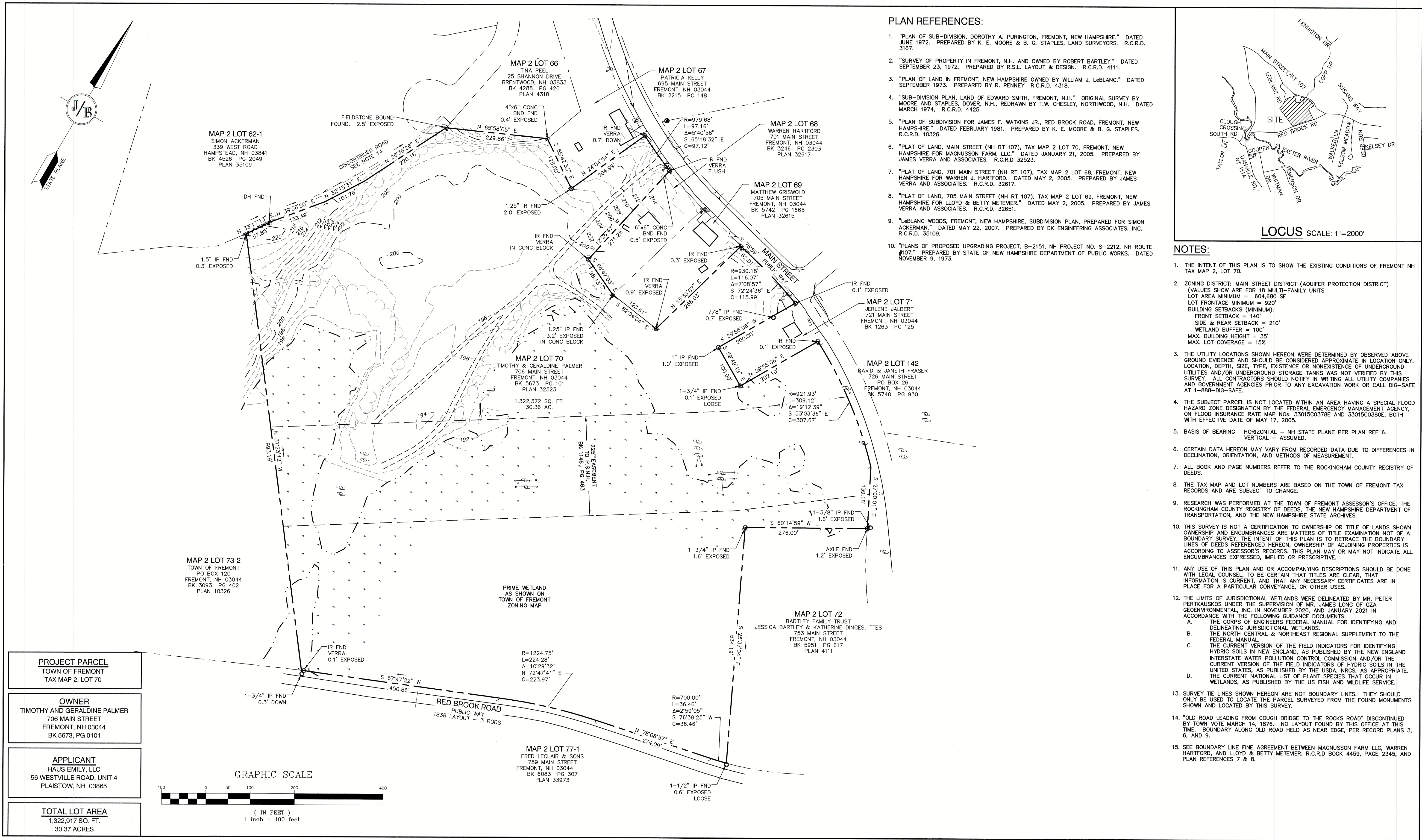
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

DRAWING No.

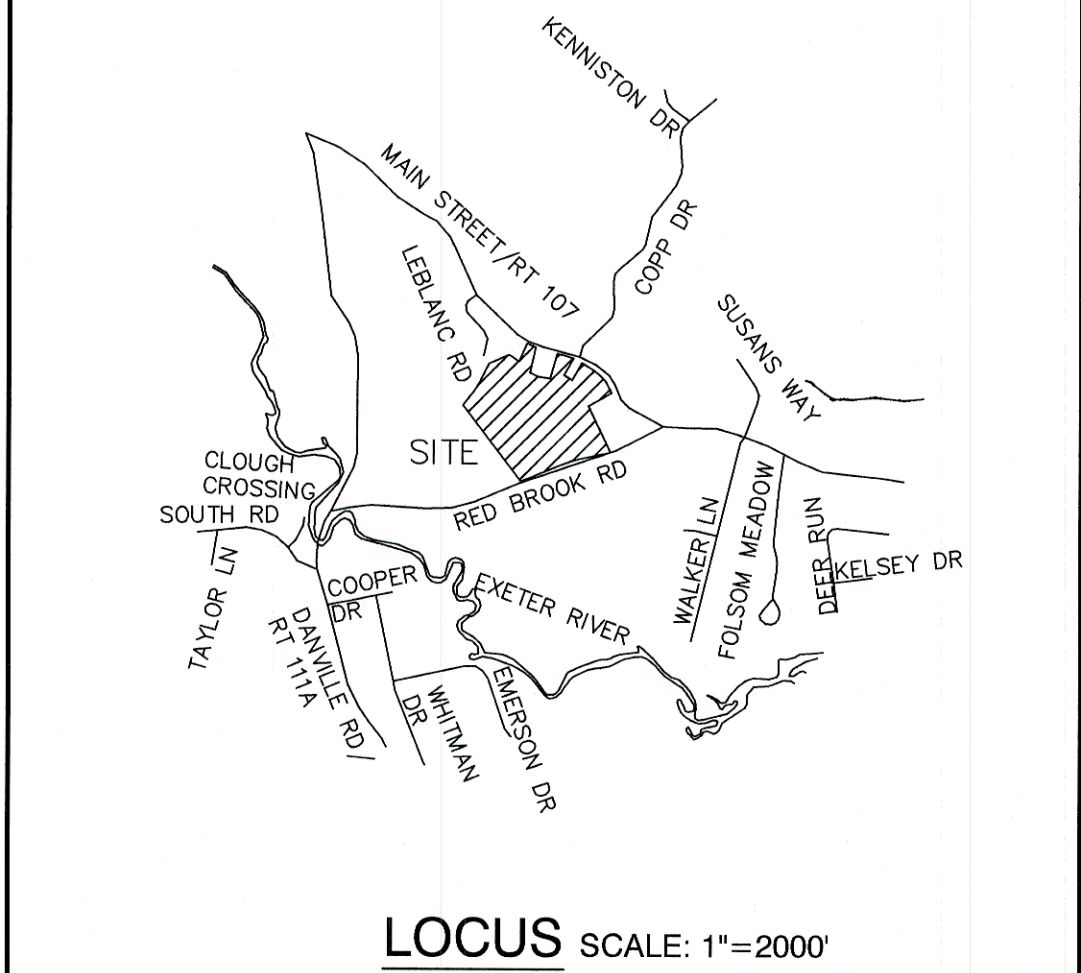
CS

SHEET 1 OF 17
JBE PROJECT NO. 20724



PLAN REFERENCES:

- 1. "PLAN OF SUB-DIVISION, DOROTHY A. PURINGTON, FREMONT, NEW HAMPSHIRE." DATED JUNE 1972. PREPARED BY K. E. MOORE & B. G. STAPLES, LAND SURVEYORS. R.C.R.D. 3167.
- 2. "SURVEY OF PROPERTY IN FREMONT, N.H. AND OWNED BY ROBERT BARTLEY." DATED SEPTEMBER 23, 1972. PREPARED BY R.S.L. LAYOUT & DESIGN. R.C.R.D. 4111.
- 3. "PLAN OF LAND IN FREMONT, NEW HAMPSHIRE OWNED BY WILLIAM J. LeBLANC." DATED SEPTEMBER 1973. PREPARED BY R. PENNEY R.C.R.D. 4318.
- 4. "SUB-DIVISION PLAN, LAND OF EDWARD SMITH, FREMONT, N.H." ORIGINAL SURVEY BY MOORE AND STAPLES, DOVER, N.H., REDRAWN BY T.W. CHESLEY, NORTHWOOD, N.H. DATED MARCH 1974. R.C.R.D. 4425.
- 5. "PLAN OF SUBDIVISION FOR JAMES F. WATKINS JR., RED BROOK ROAD, FREMONT, NEW HAMPSHIRE." DATED FEBRUARY 1981. PREPARED BY K. E. MOORE & B. G. STAPLES. R.C.R.D. 10326.
- 6. "PLAT OF LAND, MAIN STREET (NH RT 107), TAX MAP 2 LOT 70, FREMONT, NEW HAMPSHIRE FOR MAGNUSSON FARM, LLC." DATED JANUARY 21, 2005. PREPARED BY JAMES VERRA AND ASSOCIATES. R.C.R.D. 32523.
- 7. "PLAT OF LAND, 701 MAIN STREET (NH RT 107), TAX MAP 2 LOT 68, FREMONT, NEW HAMPSHIRE FOR WARREN J. HARTFORD. DATED MAY 2, 2005. PREPARED BY JAMES VERRA AND ASSOCIATES. R.C.R.D. 32617.
- 8. "PLAT OF LAND, 705 MAIN STREET (NH RT 107), TAX MAP 2 LOT 69, FREMONT, NEW HAMPSHIRE FOR LLOYD & BETTY METEVIER." DATED MAY 2, 2005. PREPARED BY JAMES VERRA AND ASSOCIATES. R.C.R.D. 32651.
- 9. "LeBLANC WOODS, FREMONT, NEW HAMPSHIRE, SUBDIVISION PLAN, PREPARED FOR SIMON ACKERMAN." DATED MAY 22, 2007. PREPARED BY DK ENGINEERING ASSOCIATES, INC. R.C.R.D. 35109.
- 10. "PLANS OF PROPOSED UPGRADING PROJECT, B-2151, NH PROJECT NO. S-2212, NH ROUTE #107." PREPARED BY STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS. DATED NOVEMBER 9, 1973.



NOTES:

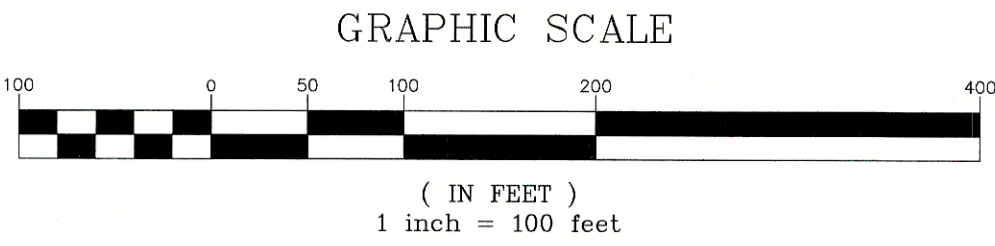
- 1. THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF FREMONT NH TAX MAP 2, LOT 70.
- 2. ZONING DISTRICT: MAIN STREET DISTRICT (AQUIFER PROTECTION DISTRICT)
(VALUES SHOW ARE FOR 18 MULTI-FAMILY UNITS
LOT AREA MINIMUM = 604,680 SF
LOT FRONTAGE MINIMUM = 920'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 140'
SIDE & REAR SETBACK = 210'
WETLAND BUFFER = 100'
MAX. BUILDING HEIGHT = 35'
MAX. LOT COVERAGE = 15%
- 3. THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- 4. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NOS. 3301SC0378E AND 3301SC0380E, BOTH WITH EFFECTIVE DATE OF MAY 17, 2005.
- 5. BASIS OF BEARING HORIZONTAL - NH STATE PLANE PER PLAN REF 6. VERTICAL - ASSUMED.
- 6. CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- 7. ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- 8. THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF FREMONT TAX RECORDS AND ARE SUBJECT TO CHANGE.
- 9. RESEARCH WAS PERFORMED AT THE TOWN OF FREMONT ASSESSOR'S OFFICE, THE ROCKINGHAM COUNTY REGISTRY OF DEEDS, THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, AND THE NEW HAMPSHIRE STATE ARCHIVES.
- 10. THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- 11. ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- 12. THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY MR. PETER PERTKAUSKOS UNDER THE SUPERVISION OF MR. JAMES LONG OF GZA GEONVIRONMENTAL, INC. IN NOVEMBER 2020, AND JANUARY 2021 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - A. THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - B. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - C. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - D. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- 13. SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- 14. "OLD ROAD LEADING FROM COUGH BRIDGE TO THE ROCKS ROAD" DISCONTINUED BY TOWN VOTE MARCH 14, 1876. NO LAYOUT FOUND BY THIS OFFICE AT THIS TIME. BOUNDARY ALONG OLD ROAD HELD AS NEAR EDGE, PER RECORD PLANS 3, 6, AND 9.
- 15. SEE BOUNDARY LINE FINE AGREEMENT BETWEEN MAGNUSSON FARM LLC, WARREN HARTFORD, AND LLOYD & BETTY METEVIER, R.C.R.D BOOK 4459, PAGE 2345, AND PLAN REFERENCES 7 & 8.

PROJECT PARCEL
TOWN OF FREMONT
TAX MAP 2, LOT 70

OWNER
TIMOTHY AND GERALDINE PALMER
706 MAIN STREET
FREMONT, NH 03044
BK 5673, PG 0101

APPLICANT
HAUS EMILY, LLC
56 WESTVILLE ROAD, UNIT 4
PLAISTOW, NH 03865

TOTAL LOT AREA
1,322,917 SQ. FT.
30.37 ACRES



Design: BWG	Draft: DFP	Date: 10/6/21
Checked: BWG	Scale: AS NOTED	Project No.: 20724
Drawing Name: 20724-PLAN.dwg		
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0	10/6/21	ISSUED FOR REVIEW	BWG
REV.	DATE	REVISION	BY

J/B

Jones & Beach Engineers, Inc.

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03865

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

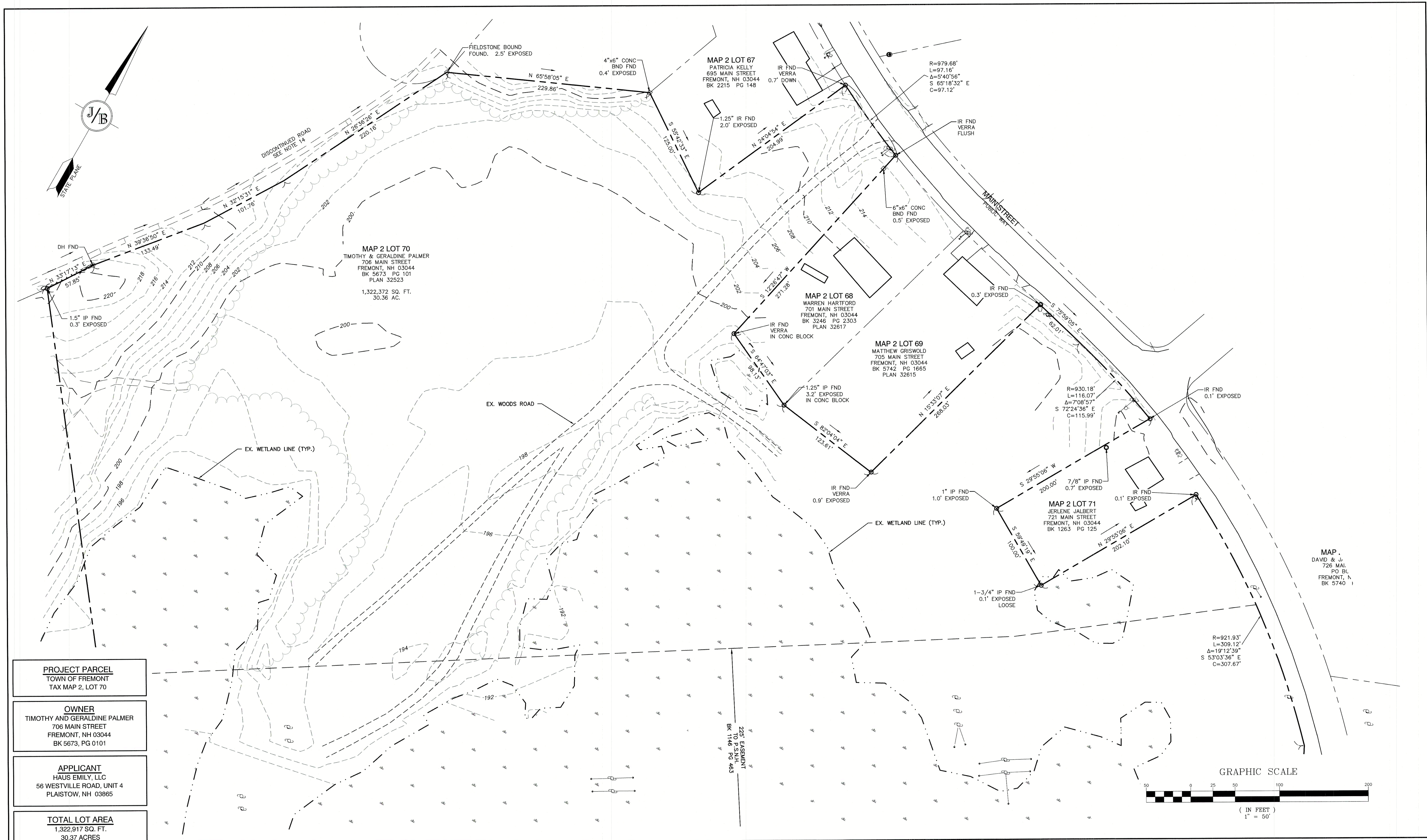
Designed and Produced in NH

Plan Name:	EXISTING CONDITIONS PLAN
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

DRAWING No.

C1

SHEET 2 OF 17
JBE PROJECT NO. 20724



Design: BWG	Draft: DFP	Date: 10/6/21
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REV.	DATE	REVISION	BY

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85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Designed and Produced in NH

Plan Name:	EXISTING CONDITIONS PLAN
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

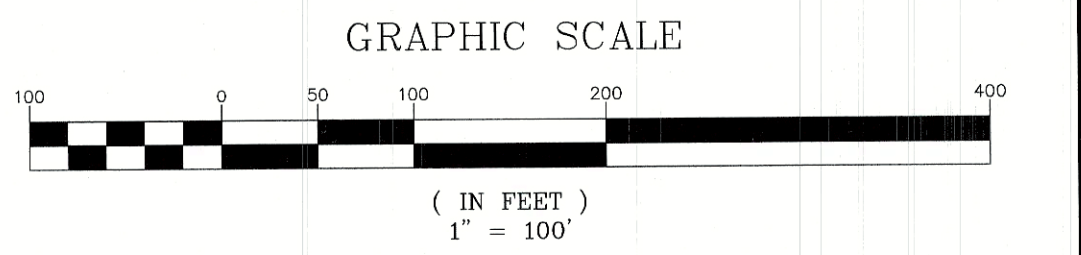
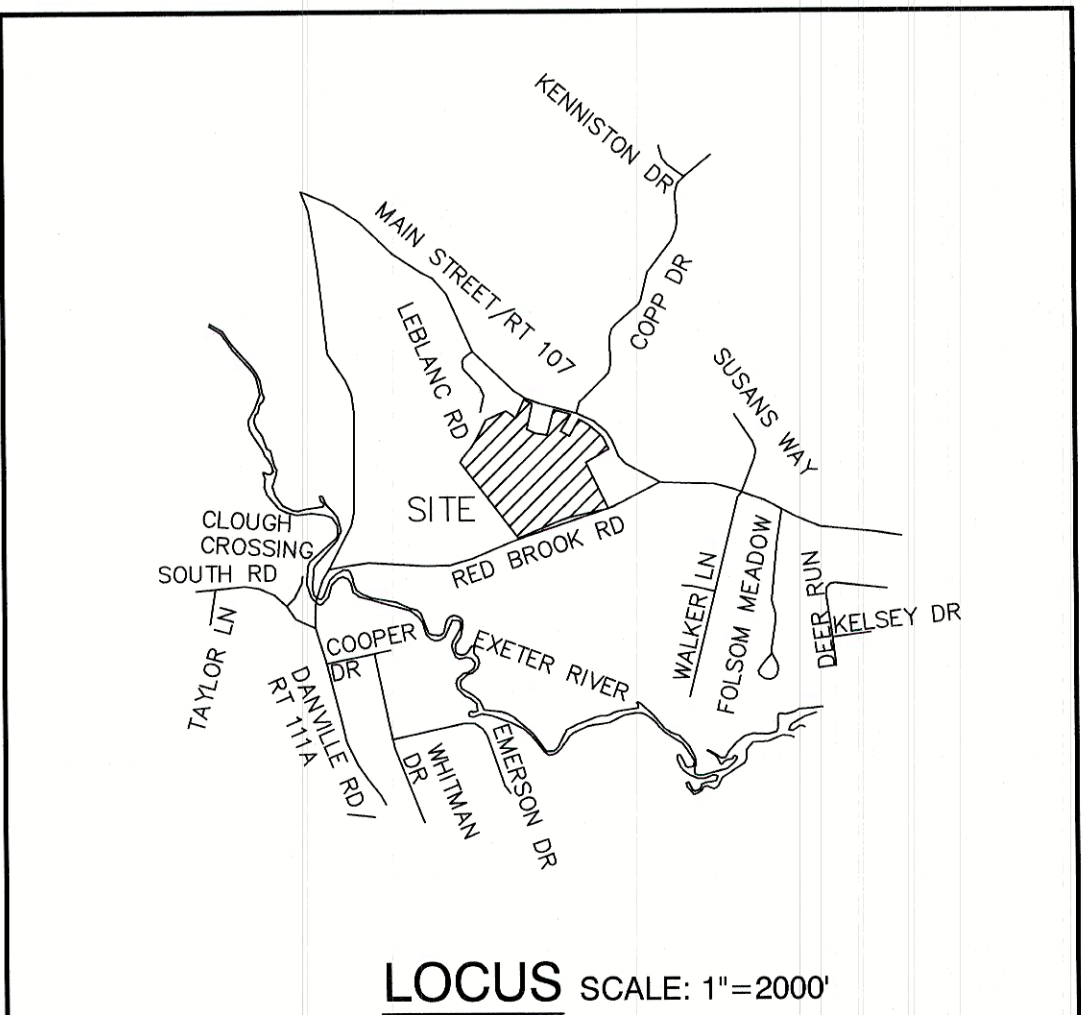
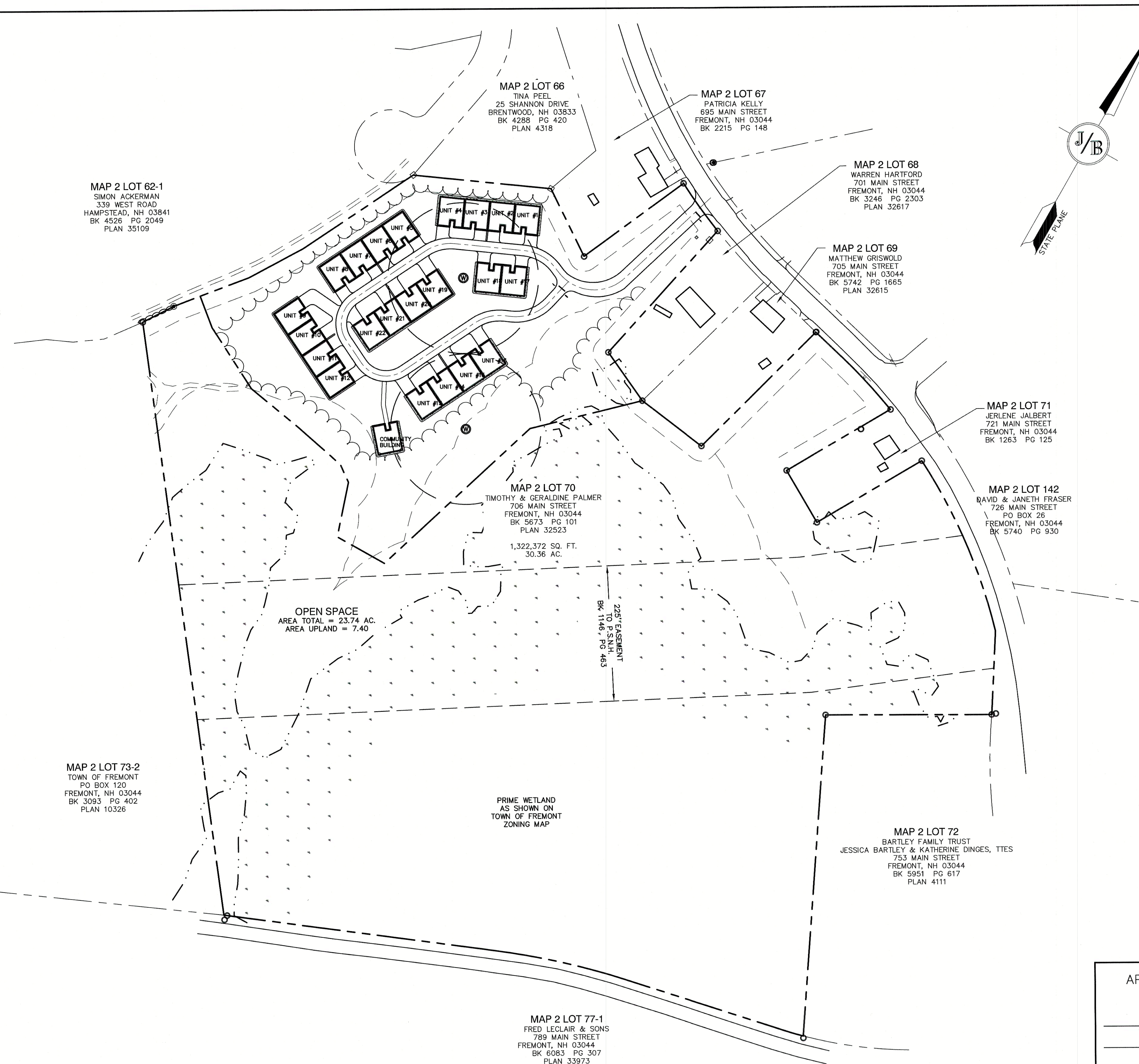
DRAWING No.

C1A

SHEET 3 OF 17
JBE PROJECT NO. 20724

SITE NOTES:

1. THE INTENT OF THIS PLAN IS TO SHOW THE OVERALL SITE PLAN OF DEVELOPMENT FOR THE MAP 2/LOT 70 WITH 22 ELDERLY OPEN SPACE UNITS. ALL UNITS WILL BE SERVICED BY ON-SITE WELLS AND SEPTICS.
2. ZONING DISTRICT: MAIN STREET DISTRICT (AQUIFER PROTECTION DISTRICT)
LOT AREA MINIMUM = SEE DENSITY CALCULATION NOTE #3
BUILDING SETBACKS (MINIMUM):
PERIMETER BUFFER = 25'
WETLAND SETBACK = 100'
MAX. BUILDING HEIGHT = 35'
MIN. BUILDING SEPARATION = 35'
AVAILABLE BUILDING AREA=606,867 SF.
3. ELDERLY OPEN SPACE DENSITY CALCULATION:
=(DEVELOPED AREA X 0.9) X (2 BEDROOMS / ACRE)
=(606,367 SF. X 0.9) = 546,188 SF. = 12.54 AC.
=(12.54 AC X 2 BEDROOMS / ACRE) = 43 BEDROOMS
4. OPEN SPACE CALCS:
OPEN SPACE REQUIRED = 33% OF GROSS UPLAND
OPEN SPACE REQUIRED = 33% X 606,867 SF. = 200,266 SF.
OPEN SPACE PROVIDED = 1,034,254 SF.
OPEN SPACE UPLAND PROVIDED = 322,205 SF.
5. NHDES APPROVAL FOR SUBDIVISION PERMIT NO. , DATED
NHDOT DRIVEWAY PERMIT NO. , DATED
6. THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS. SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
7. ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
8. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NOs. 33015C0378E AND 33015C0380E, BOTH WITH EFFECTIVE DATE OF MAY 17, 2005.
9. LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
10. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
11. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
12. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
13. ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
14. ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
15. SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS.
16. DUMPSTERS AND/OR ROLL-OFFS ARE NOT TO BE PICKED UP BETWEEN 7:00 PM AND 7:00 AM.
17. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.



APPROVED – FREMONT, NH
PLANNING BOARD

DATE:

PROJECT PARCEL TOWN OF FREMONT TAX MAP 2, LOT 70
OWNER TIMOTHY AND GERALDINE PALMER 706 MAIN STREET FREMONT, NH 03044 BK 5673, PG 0101
APPLICANT HAUS EMILY, LLC 56 WESTVILLE ROAD, UNIT 4 PLAISTOW, NH 03865
TOTAL LOT AREA 1,322,917 SQ. FT. 30.37 ACRES

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Design: BWG	Draft: DFP	Date: 10/6/21
Checked: BWG	Scale: AS NOTED	Project No.: 20724
Drawing Name: 20724-PLAN.dwg	THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.	

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REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Designed and Produced in NH

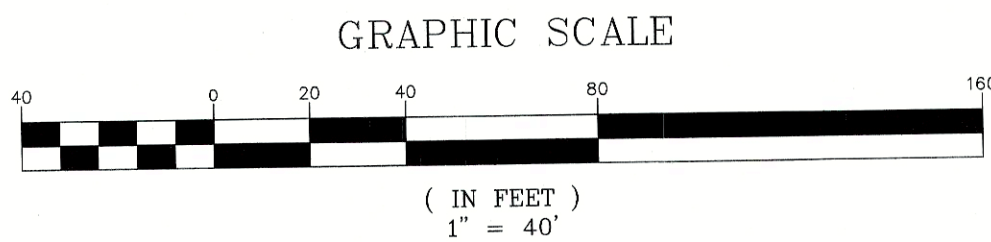
Plan Name:	OVERALL SITE PLAN TAX MAP 2 LOT 70
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

DRAWING No.

C2

SHEET 4 OF 17
JBE PROJECT NO. 20724

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J/B

STATE PLANE

DISCONTINUED ROAD
SEE NOTE 14

PR. OPEN SPACE BOUNDARY

PR. OPEN SPACE BOUNDARY

PROJECT PARCEL
TOWN OF FREMONT
TAX MAP 2, LOT 70

OWNER
TIMOTHY AND GERALDINE PALMER
706 MAIN STREET
FREMONT, NH 03044
BK 5673, PG 0101

APPLICANT
HAUS EMILY, LLC
56 WESTVILLE ROAD, UNIT 4
PLAISTOW, NH 03865

TOTAL LOT AREA
1,322,917 SQ. FT.
30.37 ACRES

APPROVED — FREMONT, NH
PLANNING BOARD

DATE:

Design: BWG Draft: DFP Date: 10/6/21
Checked: BWG Scale: AS NOTED Project No.: 20724
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J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SITE PLAN**
TAX MAP 2 LOT 70

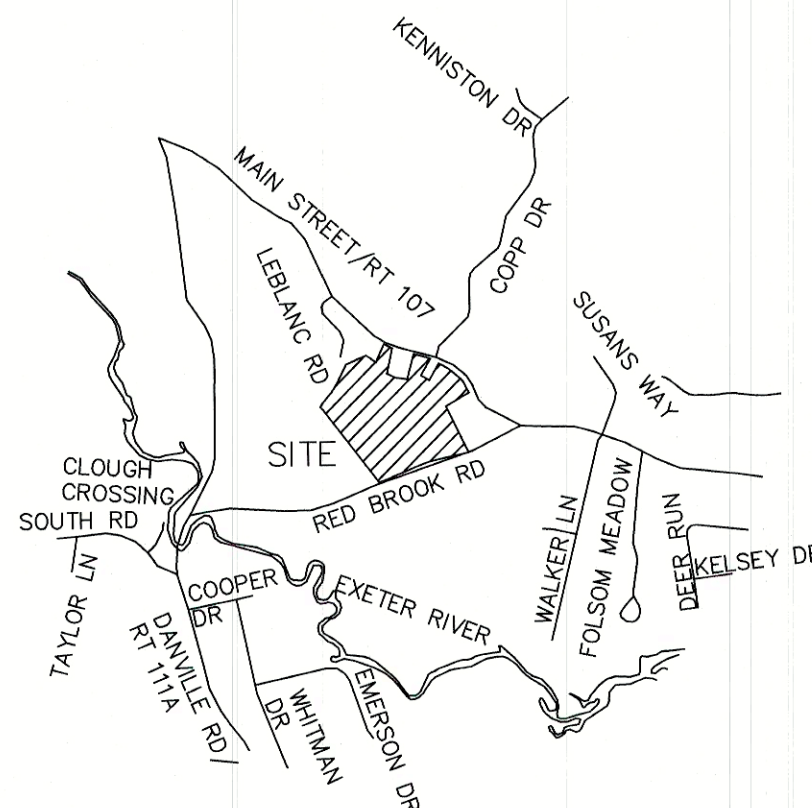
Project: **MAIN STREET TOWNHOMES**
MAIN STREET, FREMONT, NH

Owner of Record: **TIMOTHY & GERALDINE PALMER**
706 MAIN STREET, FREMONT, NH 03044

DRAWING No.

C2A

SHEET 5 OF 17
JBE PROJECT NO. 20724

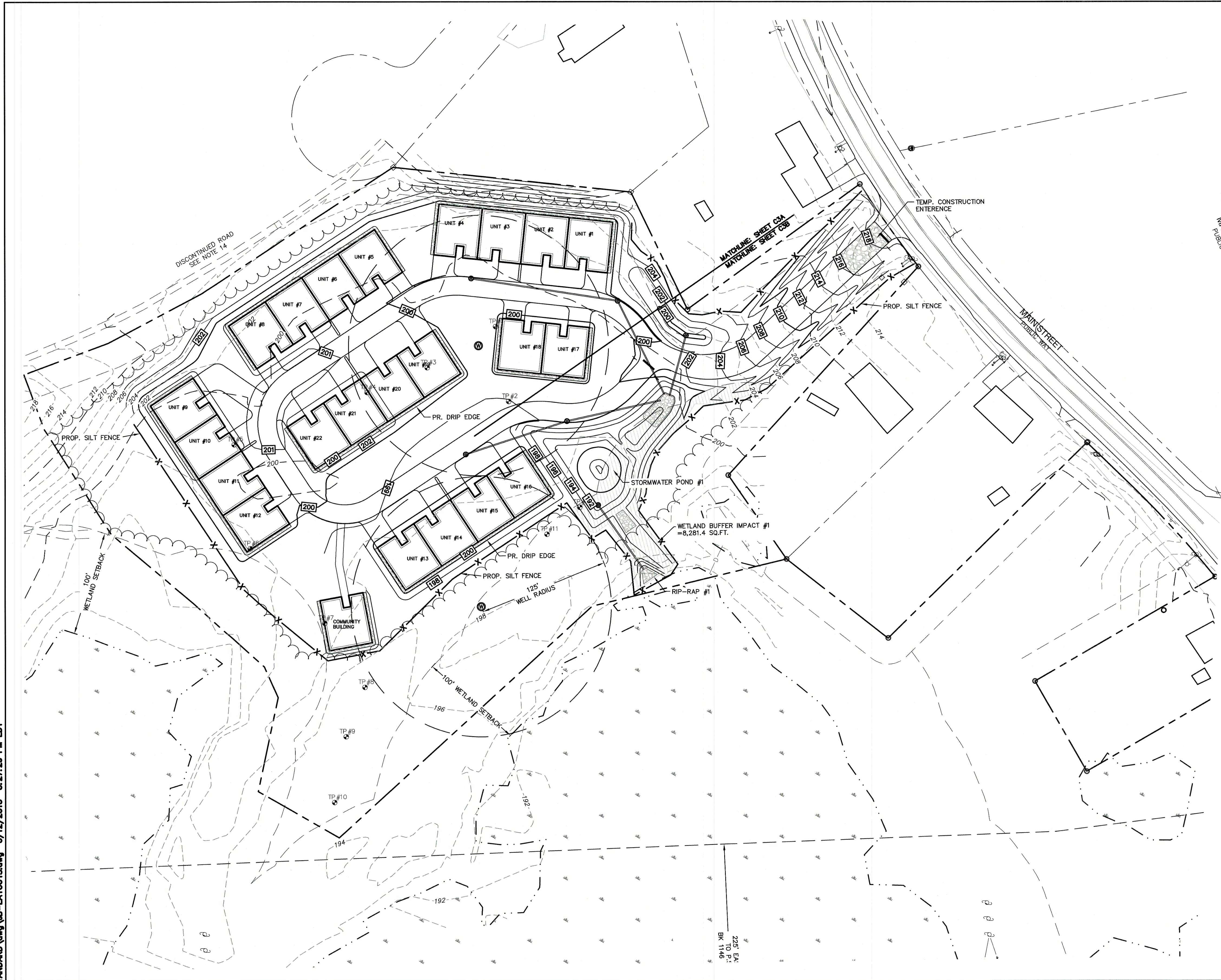


LOCUS SCALE: 1"=2000'

SITE NOTES:

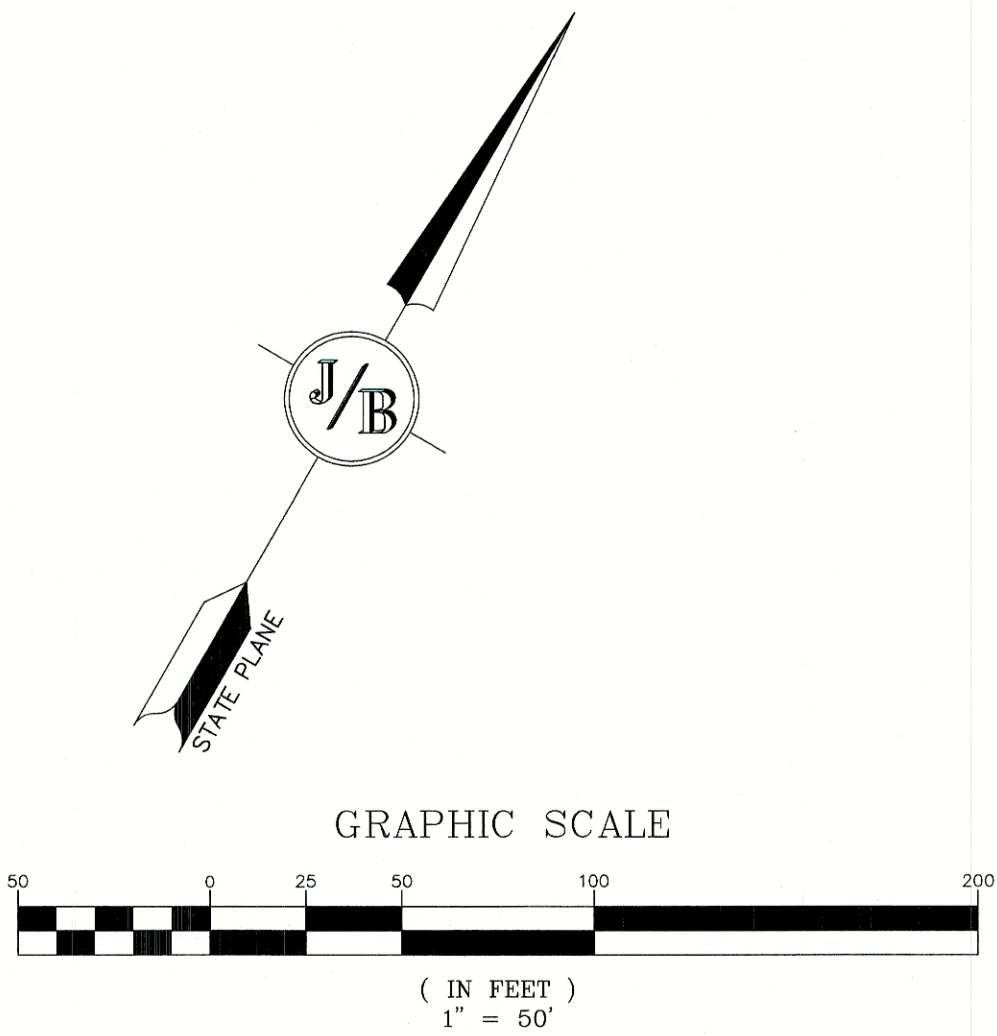
- THE INTENT OF THIS PLAN IS TO SHOW THE OVERALL SITE PLAN OF DEVELOPMENT FOR THE MAP 2/LOT 70 WITH 22 ELDERLY OPEN SPACE UNITS. ALL UNITS WILL BE SERVICED BY ON-SITE WELLS AND SEPTICS.
- ZONING DISTRICT: MAIN STREET DISTRICT (AQUIFER PROTECTION DISTRICT) LOT AREA MINIMUM = SEE DENSITY CALCULATION NOTE #3
BUILDING SETBACKS (MINIMUM):
PARAMETER BUFFER = 25'
WETLAND SETBACK = 100'
MAX. BUILDING HEIGHT = 35'
MIN. BUILDING SEPARATION = 35'
AVAILABLE BUILDING AREA=606,867 SF.
- ELDERLY OPEN SPACE DENSITY CALCULATION:
=(DEVELOPED AREA X 0.9) X (2 BEDROOMS / ACRE)
=(606,367 SF. X 0.9) = 546,188 S.F. = 12.54 AC.
=(12.54 AC X 2 BEDROOMS / ACRE) = 43 BEDROOMS
- OPEN SPACE CALCS:
OPEN SPACE REQUIRED = 33% OF GROSS UPLAND
OPEN SPACE REQUIRED = 33% X 606,867 SF. = 200,266 SF.
OPEN SPACE PROVIDED = 1,034,284 SF.
OPEN SPACE UPLAND PROVIDED = 322,205 SF.
PROPOSED=18 UNITS=304,680 SF (8 UNITS) + 30,000 SF X 10 UNITS=604,680 SF
PROVIDED= 606,325 SF
- NHDES APPROVAL FOR SUBDIVISION PERMIT NO. , DATED
NHDOT DRIVEWAY PERMIT NO. , DATED
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NOS. 33015C0378E AND 33015C0380E, BOTH WITH EFFECTIVE DATE OF MAY 17, 2005.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.). THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- ALL UNITS TO INCLUDE A 1-CAR GARAGE AND 1-EXTERIOR PARKING SPACE.

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GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- BASIS OF BEARING HORIZONTAL - NH STATE PLANE PER PLAN REF 6.
VERTICAL - ASSUMED.
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE SHEET D2 FOR DRAINAGE STRUCTURE SCHEDULE AND SHEET D2 FOR DRAINAGE DETAILS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO $\pm 1/2$ " PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- WELAND IMPACTS:
WETLAND IMPACTS = 0
WETLAND BUFFER IMPACTS: 8,281 SQ.FT.



PROJECT PARCEL
TOWN OF FREMONT
TAX MAP 2, LOT 70

OWNER
TIMOTHY AND GERALDINE PALMER
706 MAIN STREET
FREMONT, NH 03044
BK 5673, PG 0101

APPLICANT
HAUS EMILY, LLC
56 WESTVILLE ROAD, UNIT 4
PLAISTOW, NH 03865

TOTAL LOT AREA
1,322,917 SQ. FT.
30.37 ACRES

Design: BWG Draft: DFP Date: 10/6/21
Checked: BWG Scale: AS NOTED Project No.: 20724
Drawing Name: 20724-PLAN.dwg
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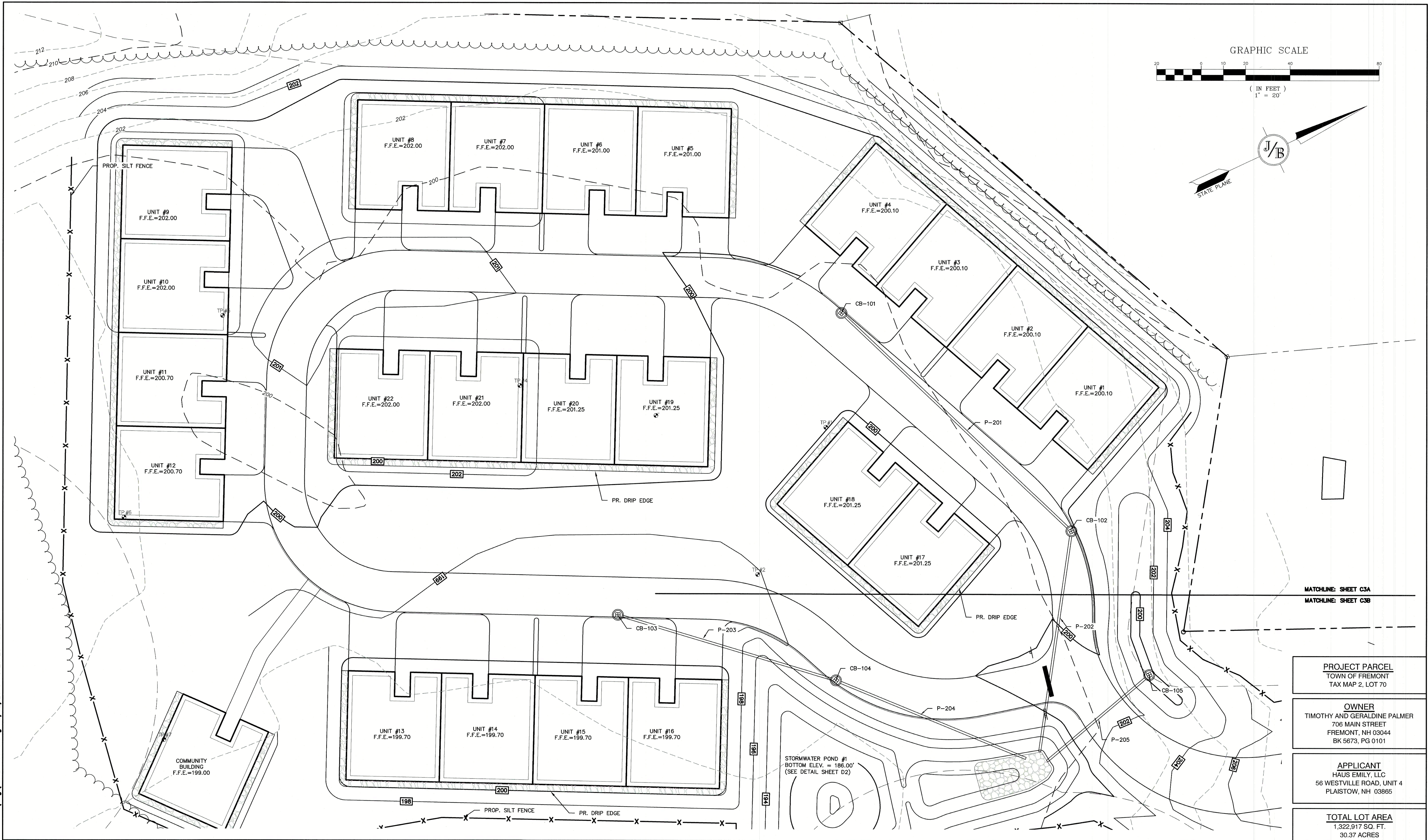
REV.	DATE	REVISION	BY
0	10/6/21	ISSUED FOR REVIEW	BWG

J/B Jones & Beach Engineers, Inc.
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: GRADING AND DRAINAGE PLAN
Project: MAIN STREET TOWNHOMES
MAIN STREET, FREMONT, NH
Owner of Record: TIMOTHY & GERALDINE PALMER
706 MAIN STREET, FREMONT, NH 03044

DRAWING No.
C3
SHEET 6 OF 17
JBE PROJECT NO. 20724

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MATCHLINE: SHEET C3A
MATCHLINE: SHEET C3B

PROJECT PARCEL
TOWN OF FREMONT
TAX MAP 2, LOT 70

OWNER
TIMOTHY AND GERALDINE PALMER
706 MAIN STREET
FREMONT, NH 03044
BK 5673, PG 0101

APPLICANT
HAUS EMILY, LLC
56 WESTVILLE ROAD, UNIT 4
PLAISTOW, NH 03865

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30.37 ACRES

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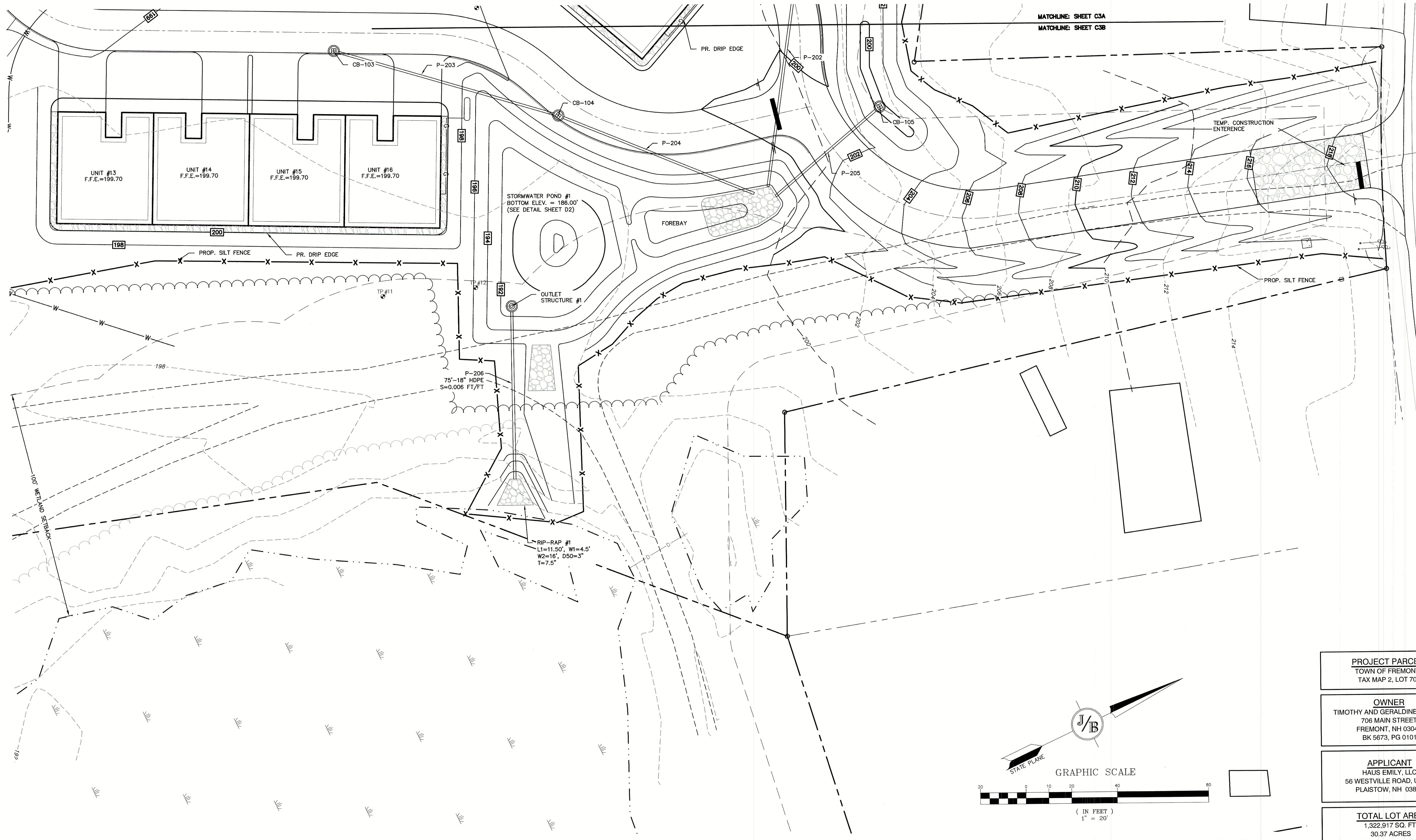
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Stratham, NH 03885

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Civil Engineering Services
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FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	GRADING AND DRAINAGE PLAN
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

DRAWING No.
C3A
SHEET 7 OF 17
JBE PROJECT NO. 20724

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Civil Engineering Services

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E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	GRADING AND DRAINAGE PLAN
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

DRAWING No.

C3B

SHEET 8 OF 17
JBE PROJECT NO. 20724

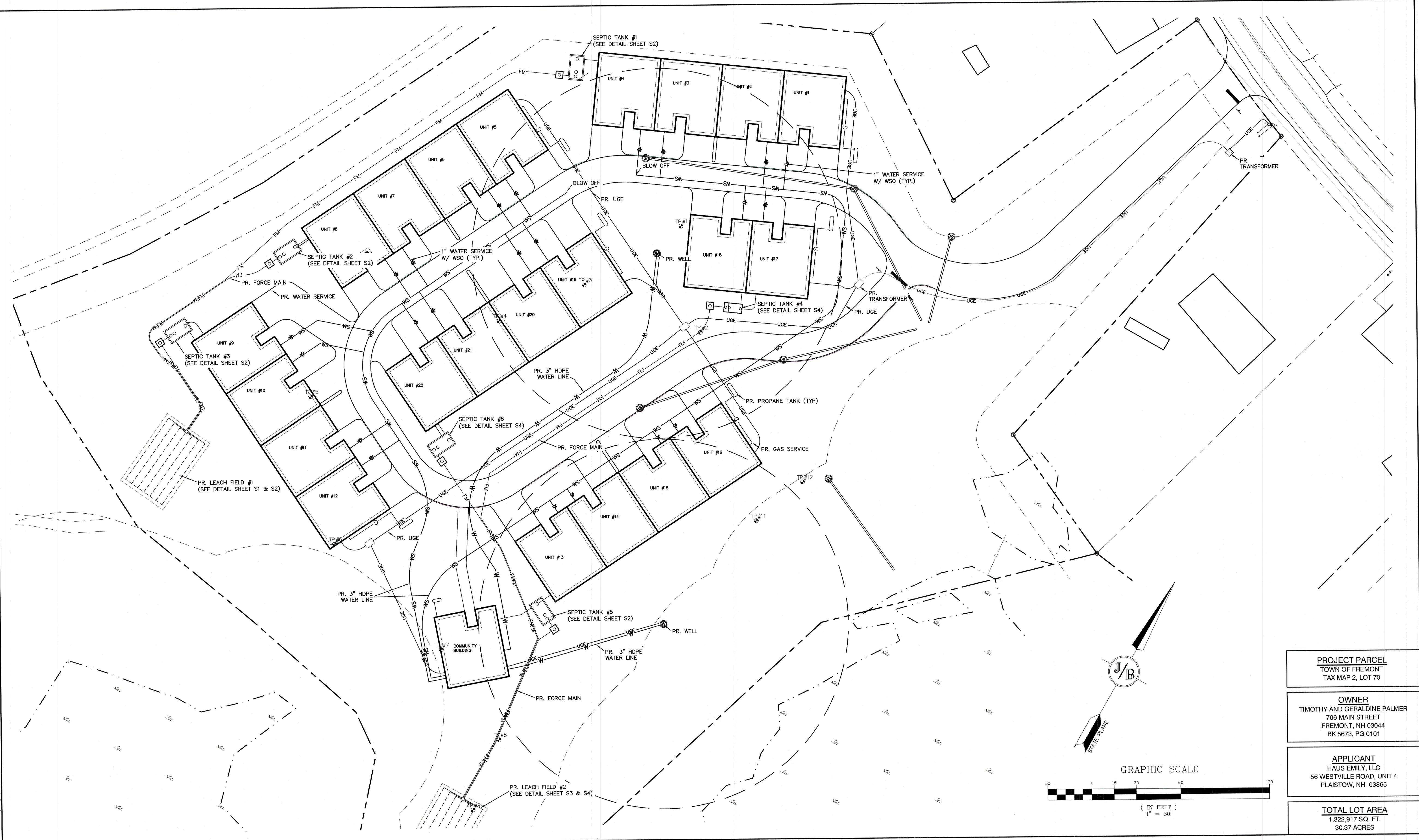
PROJECT PARCEL
TOWN OF FREMONT
TAX MAP 2, LOT 70

OWNER
TIMOTHY AND GERALDINE PALMER
706 MAIN STREET
FREMONT, NH 03044
BK 5673, PG 0101

APPLICANT
HAUS EMILY, LLC
56 WESTVILLE ROAD, UNIT 4
PLAISTOW, NH 03865


TOTAL LOT AREA
1,322,917 SQ. FT.
30.37 ACRES

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Drawing Name: 20724-PLAN.dwg		
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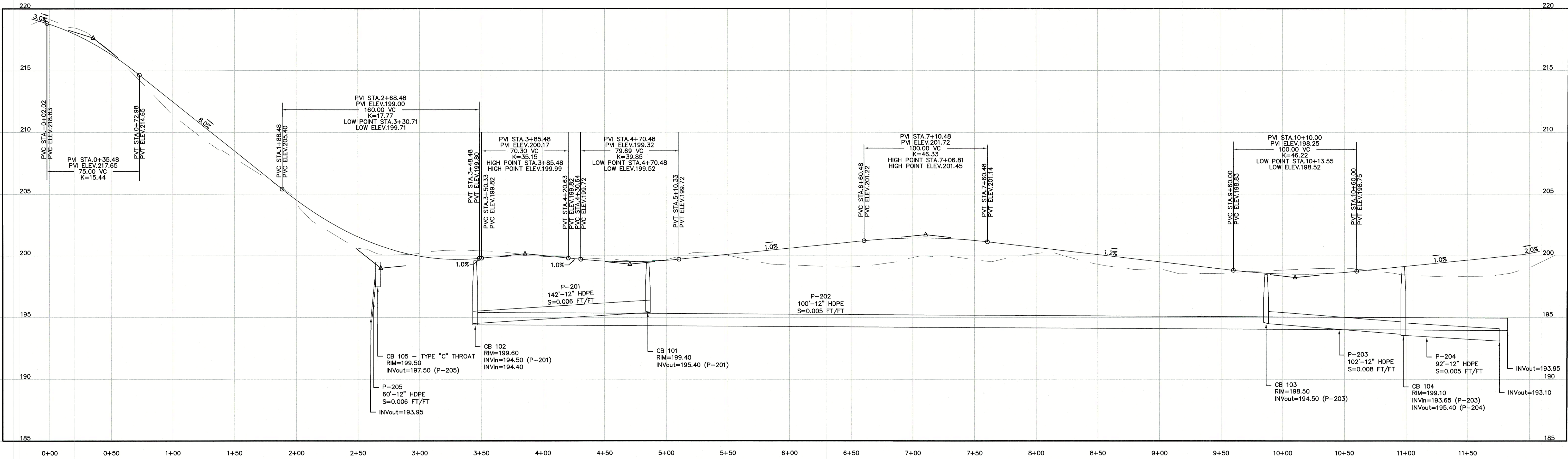
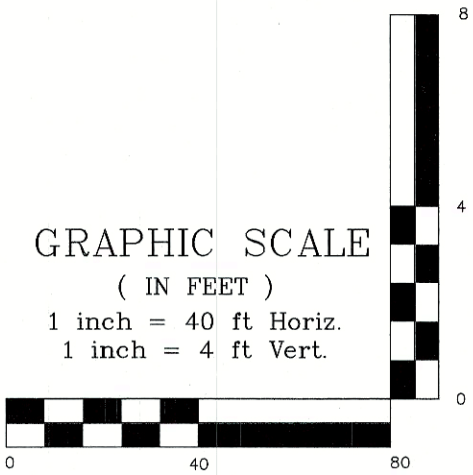
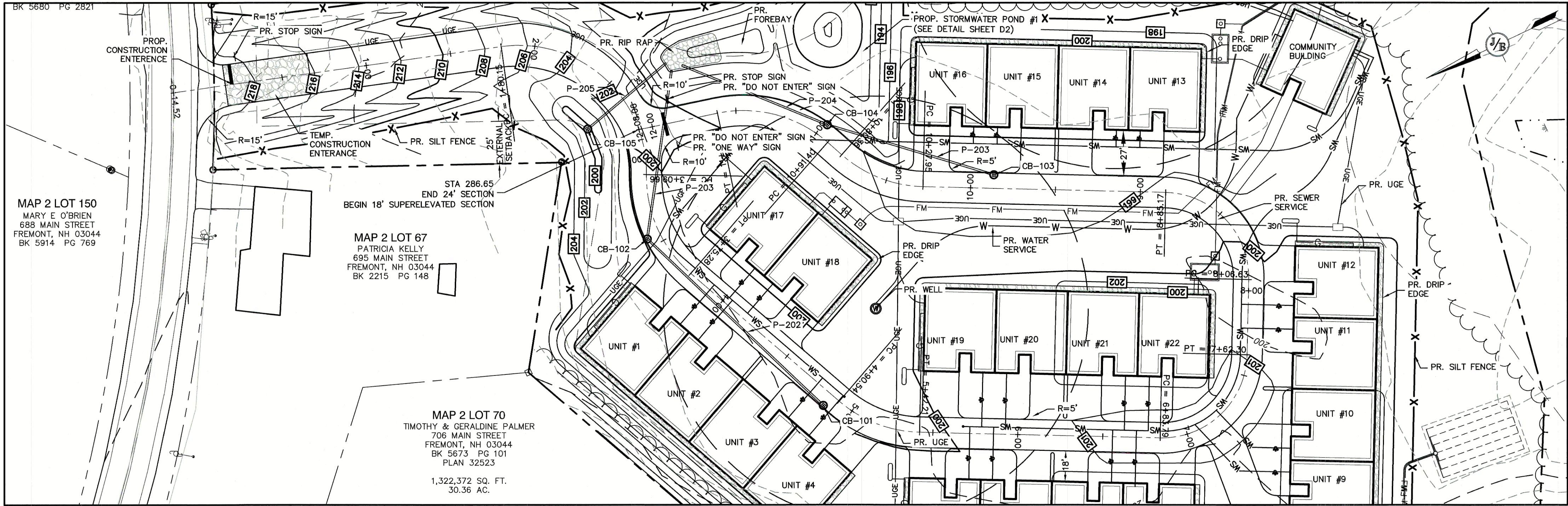
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603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	UTILITY PLAN
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

DRAWING No.	C4
SHEET 9 OF 17 JBE PROJECT NO. 20724	

PROJECT PARCEL TOWN OF FREMONT TAX MAP 2, LOT 70
OWNER TIMOTHY AND GERALDINE PALMER 706 MAIN STREET FREMONT, NH 03044 BK 5673, PG 0101
APPLICANT HAUS EMILY, LLC 56 WESTVILLE ROAD, UNIT 4 PLAISTOW, NH 03865
TOTAL LOT AREA 1,322,917 SQ. FT. 30.37 ACRES

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Design: BWG	Draft: DFP	Date: 10/6/21
Checked: BWG	Scale: AS NOTED	Project No.: 20724
Drawing Name: 20724-PLAN.dwg		
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REV.	DATE	REVISION	BY
0	10/6/21	ISSUED FOR REVIEW	BWG

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PO Box 219
Stratham, NH 03885

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FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

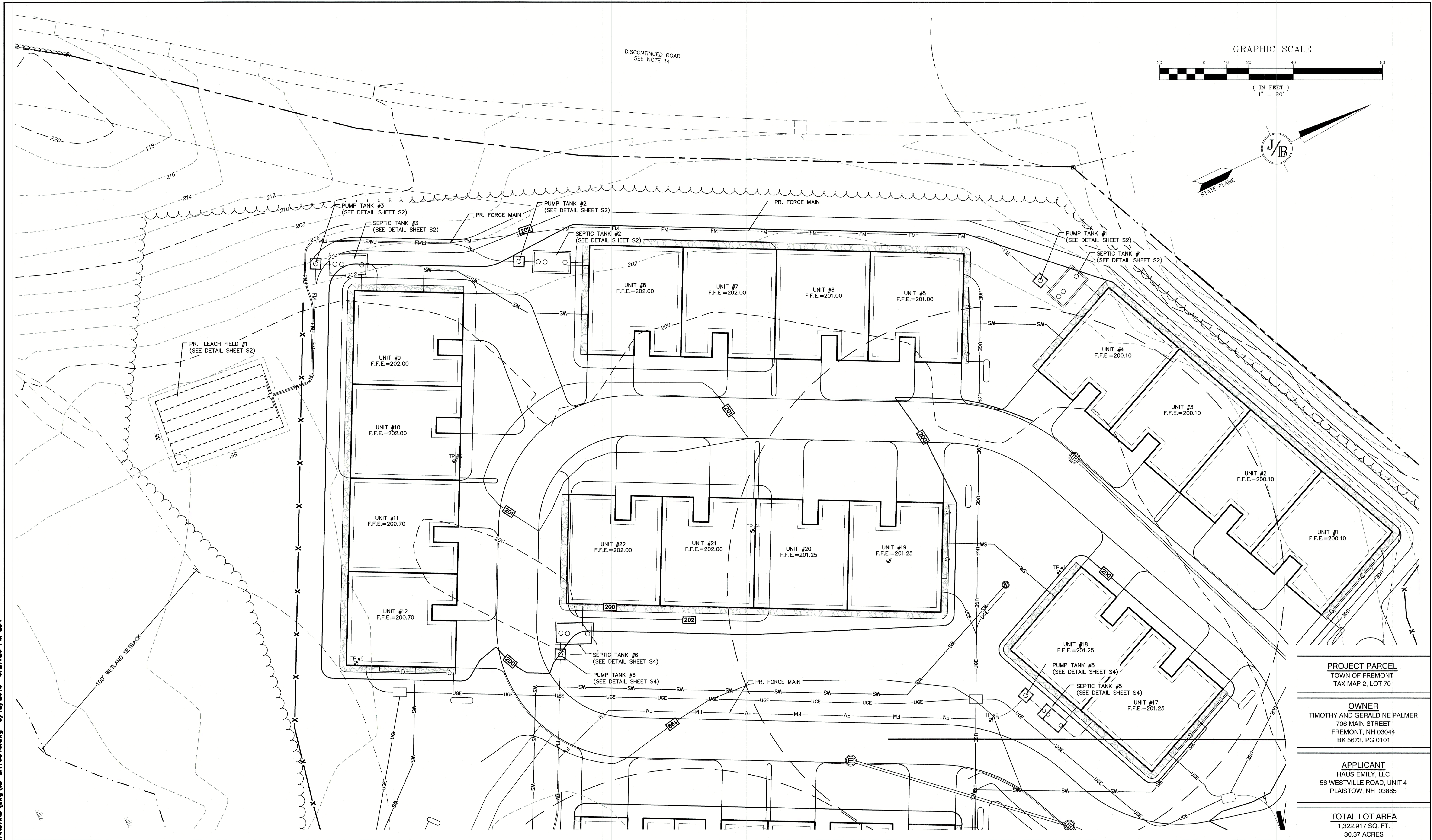
Designed and Produced in NH
Civil Engineering Services

Plan Name:	PLAN AND PROFILE
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

DRAWING No.
P1

SHEET 10 OF 17
JBE PROJECT NO. 20724

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Drawing Name: 20724-PLAN.dwg		
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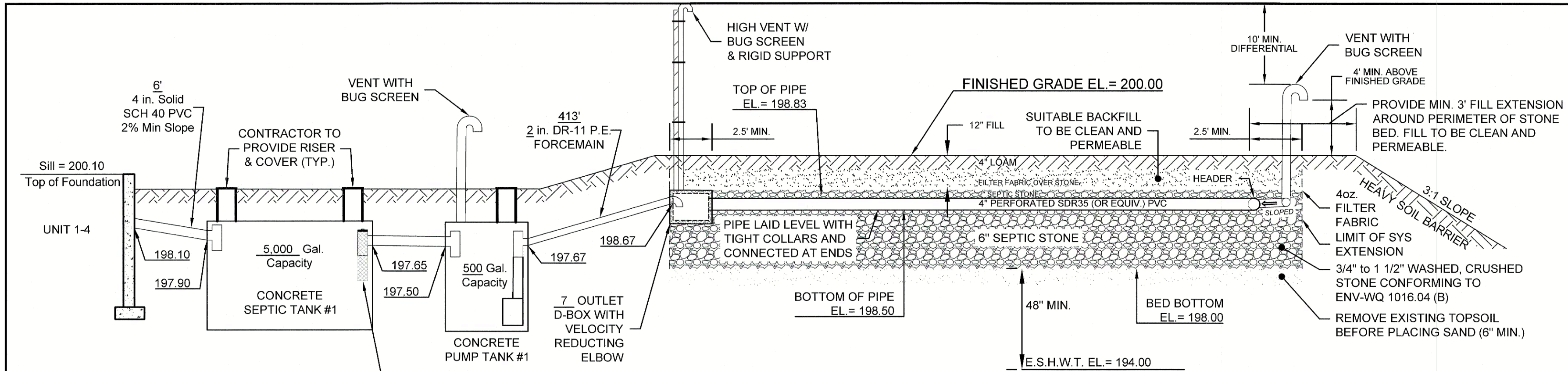
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Stratham, NH 03885

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Civil Engineering Services
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EFFLUENT DISPOSAL DESIGN - LF #1
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

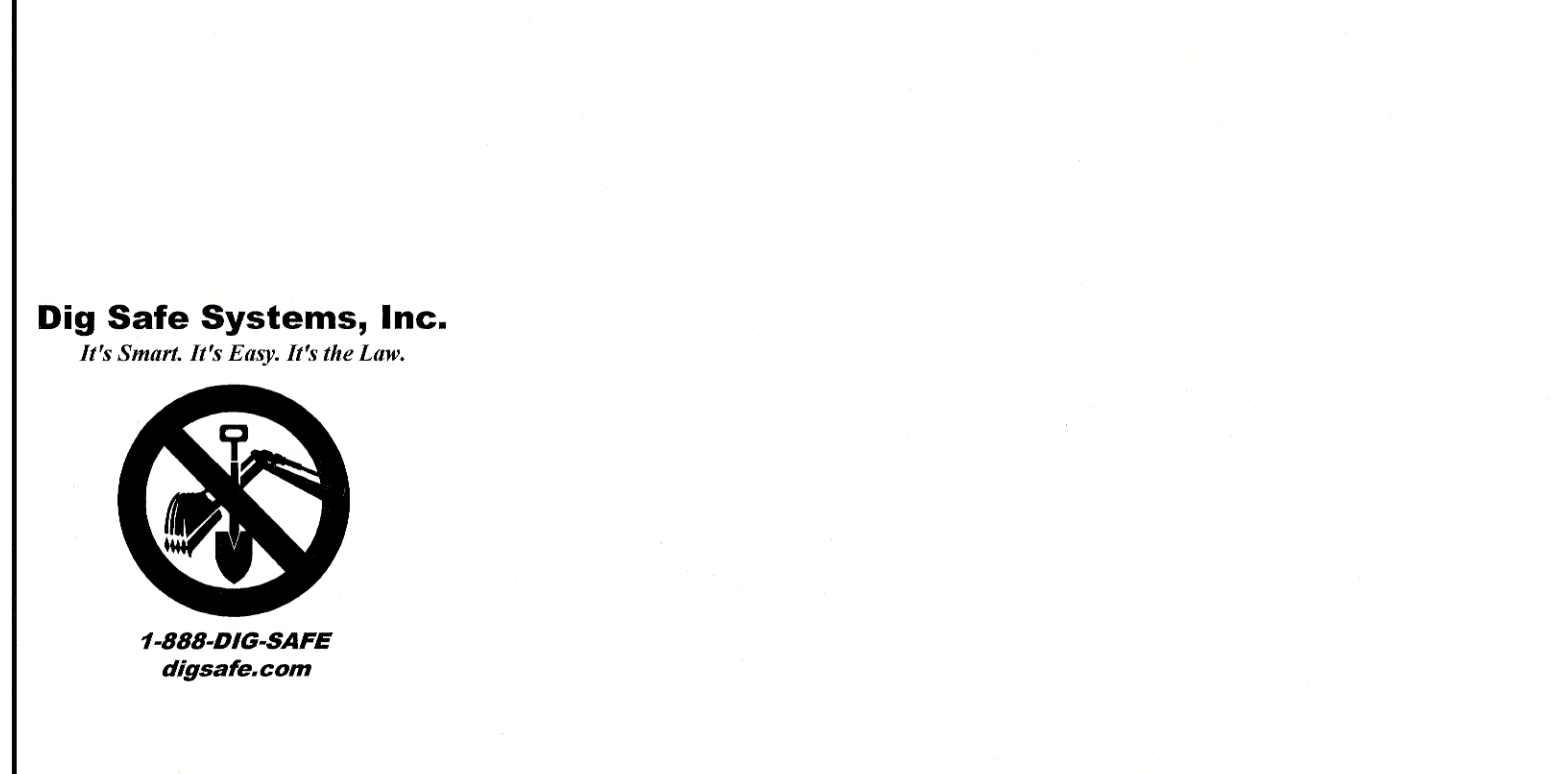
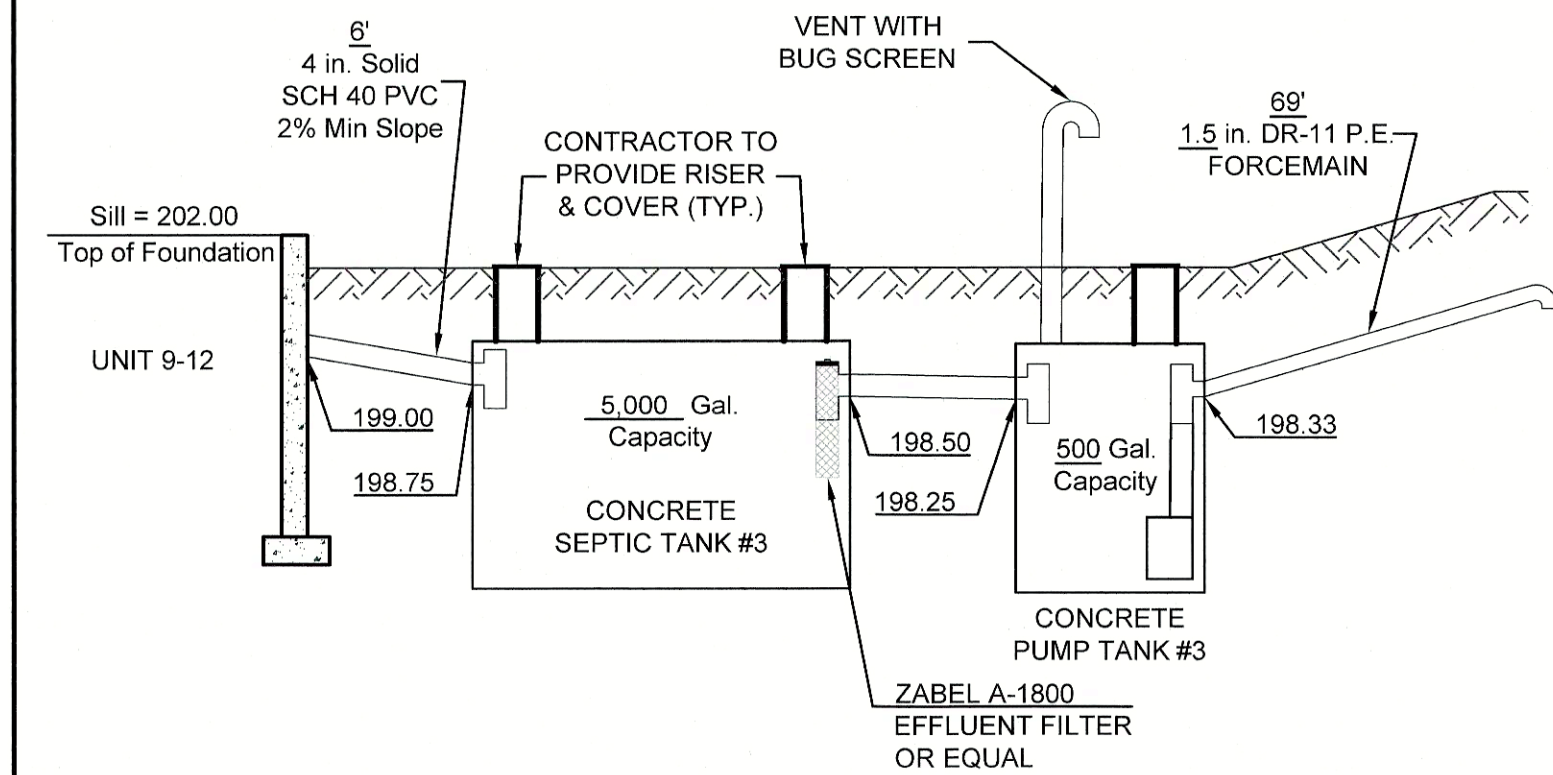
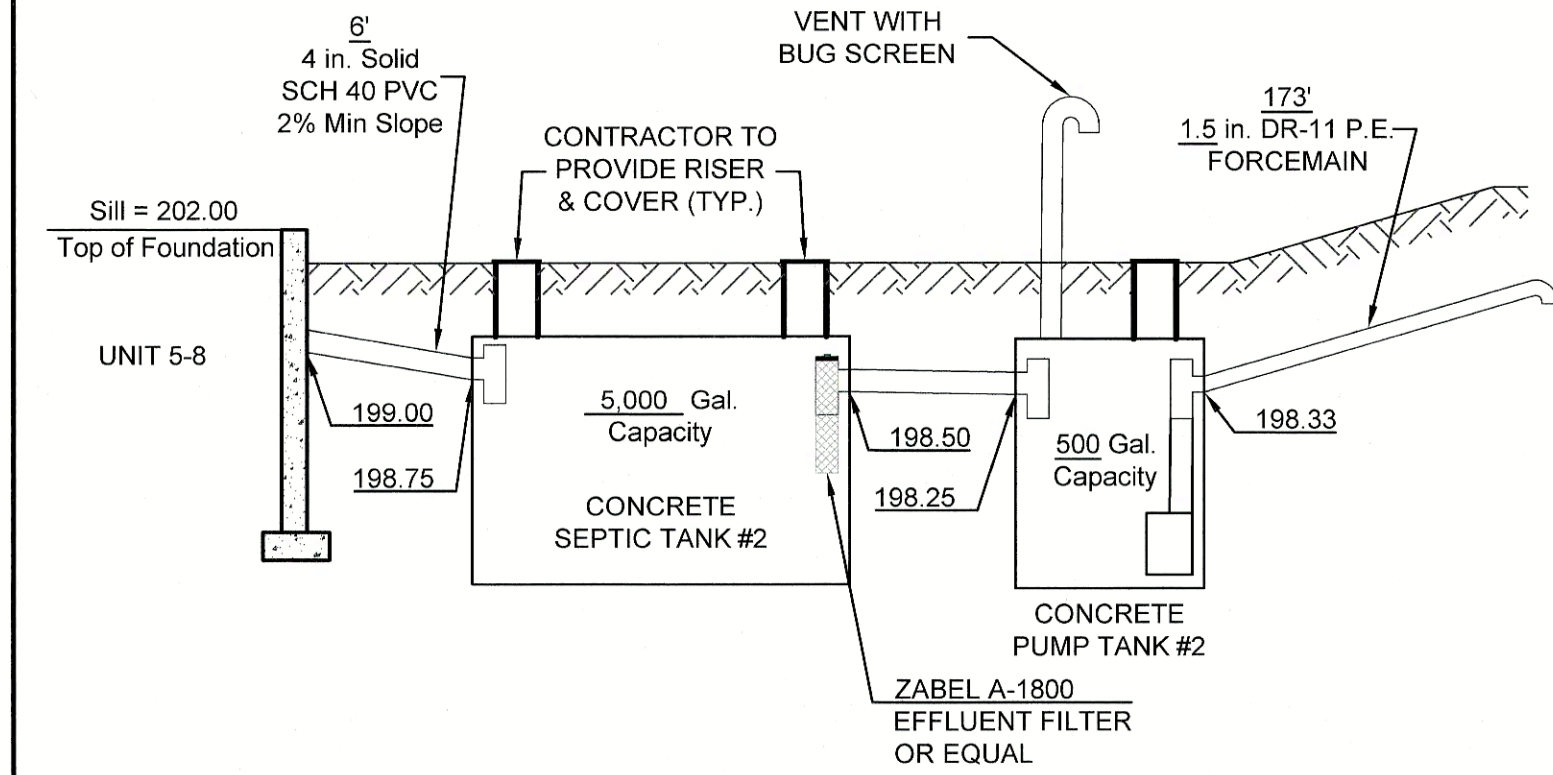
DRAWING No.
S1
SHEET 11 OF 17 JBE PROJECT NO. 20724

PROJECT PARCEL TOWN OF FREMONT TAX MAP 2, LOT 70
OWNER TIMOTHY AND GERALDINE PALMER 706 MAIN STREET FREMONT, NH 03044 BK 5673, PG 0101
APPLICANT HAUS EMILY, LLC 56 WESTVILLE ROAD, UNIT 4 PLAISTOW, NH 03865
TOTAL LOT AREA 1,322,917 SQ. FT. 30.37 ACRES



CROSS SECTION - DISPOSAL SYSTEM

N.T.S.

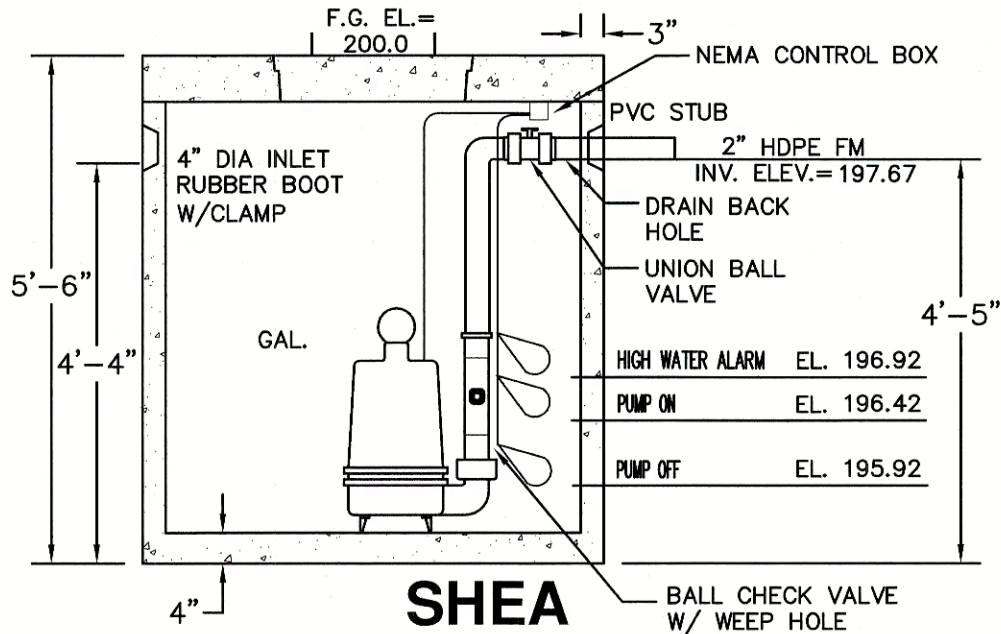


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It's Smart. It's Easy. It's the Law.

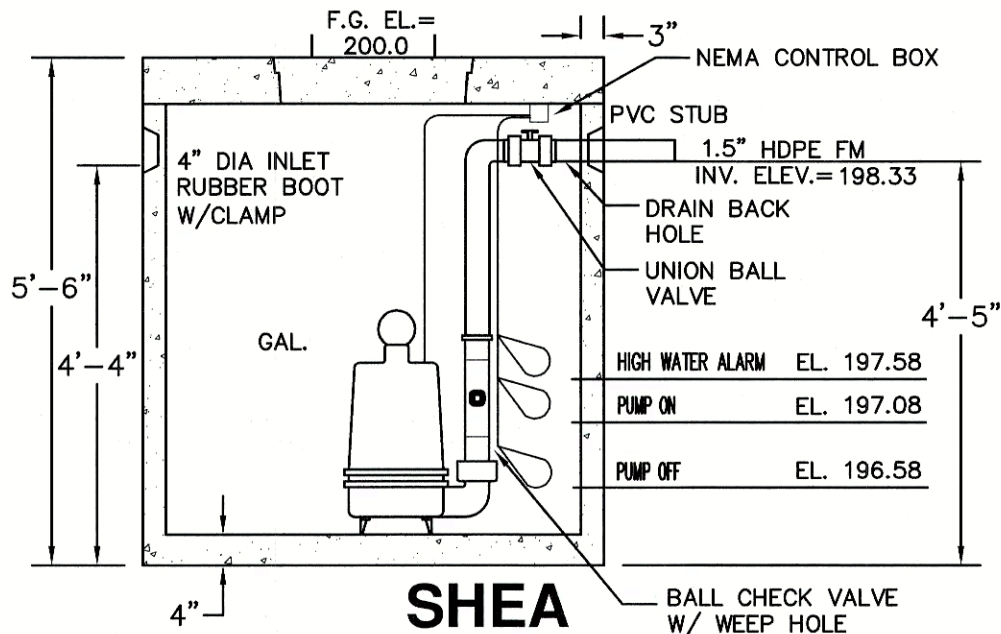


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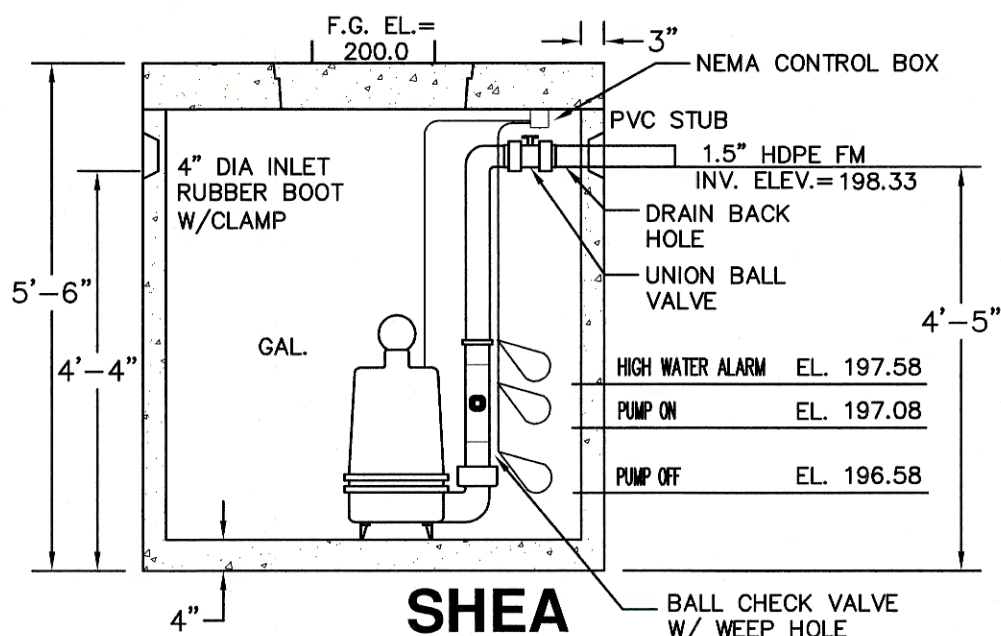
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE SEPTIC PLAN FROM THE NHDES APPROVED PLAN
- THE BUILDER/SITE CONTRACTOR IS RESPONSIBLE TO CONFIRM THE ZONING DIMENSIONAL REQUIREMENTS AND SETBACK LINE REQUIREMENTS PRIOR TO INITIATING CONSTRUCTION OF THE PROPOSED HOUSE AND SEPTIC SYSTEM. THE ZONING ORDINANCE OF THE MUNICIPALITY IS TO BE COMPLIED WITH. THE BUILDER/SITE CONTRACTOR IS ALSO RESPONSIBLE TO CONTACT THE MUNICIPALITY REGARDING INSPECTIONS PRIOR TO AND DURING CONSTRUCTION, I.E. LOCATION AND BED-BOTTOM INSPECTIONS.



SHEA
SECTION VIEW



SHEA
SECTION VIEW



SHEA
SECTION VIEW

EFFLUENT PUMP #1 NOTES

- PUMP TO BE MYERS S40HT 1/3 HP, OR EQUIV., RATED AT 30 GPM AT 14.8' FT. TOTAL DYNAMIC HEAD. ALARM TO BE CONNECTED TO LIGHT OR BELL WITHIN BUILDING WITH ON/OFF SWITCH ON ITS OWN CIRCUIT. PUMP IS TO BE ON ITS OWN CIRCUIT. CONTROL PANEL, JUNCTION BOX, ETC. TO BE REMOTELY MOUNTED FROM PUMP CHAMBER TO AVOID MOISTURE/ CORROSION. ALL INSTALLED AND WIRED PER MANUFACTURER'S RECOMMENDATIONS.
- SYSTEM DESIGNED TO DOSE LEACH FIELD 6.6 TIMES PER DAY AT 75.7 GAL./DOSE.
- PUMP WILL OPERATE FOR APPROX. 2.5 MINUTES PER DOSE.
- PUMP CHAMBER TO BE WATER TIGHT AND VENTED.

EFFLUENT PUMP #2 NOTES

- PUMP TO BE MYERS S40HT 1/3 HP, OR EQUIV., RATED AT 28 GPM AT 16.6' FT. TOTAL DYNAMIC HEAD. ALARM TO BE CONNECTED TO LIGHT OR BELL WITHIN BUILDING WITH ON/OFF SWITCH ON ITS OWN CIRCUIT. PUMP IS TO BE ON ITS OWN CIRCUIT. CONTROL PANEL, JUNCTION BOX, ETC. TO BE REMOTELY MOUNTED FROM PUMP CHAMBER TO AVOID MOISTURE/ CORROSION. ALL INSTALLED AND WIRED PER MANUFACTURER'S RECOMMENDATIONS.
- SYSTEM DESIGNED TO DOSE LEACH FIELD 6.6 TIMES PER DAY AT 75.7 GAL./DOSE.
- PUMP WILL OPERATE FOR APPROX. 2.5 MINUTES PER DOSE.
- PUMP CHAMBER TO BE WATER TIGHT AND VENTED.

EFFLUENT PUMP #3 NOTES

- PUMP TO BE MYERS S40HT 1/3 HP, OR EQUIV., RATED AT 35 GPM AT 13.7' FT. TOTAL DYNAMIC HEAD. ALARM TO BE CONNECTED TO LIGHT OR BELL WITHIN BUILDING WITH ON/OFF SWITCH ON ITS OWN CIRCUIT. PUMP IS TO BE ON ITS OWN CIRCUIT. CONTROL PANEL, JUNCTION BOX, ETC. TO BE REMOTELY MOUNTED FROM PUMP CHAMBER TO AVOID MOISTURE/ CORROSION. ALL INSTALLED AND WIRED PER MANUFACTURER'S RECOMMENDATIONS.
- SYSTEM DESIGNED TO DOSE LEACH FIELD 6.6 TIMES PER DAY AT 75.7 GAL./DOSE.
- PUMP WILL OPERATE FOR APPROX. 2.5 MINUTES PER DOSE.
- PUMP CHAMBER TO BE WATER TIGHT AND VENTED.

TEST PIT LOGS

PERFORMED BY: JAMES H. LONG, CSS, GZA GEOENVIRONMENTAL, INC. WITNESSED BY: LAWRENCE MILLER THE APPLICANT'S AGENT VERIFIED IN AUGUST, 2021 THAT THE TEST PIT DATA REFLECTS CURRENT SITE CONDITIONS IN ACCORDANCE WITH ENV-WQ 1006.06 (d).			
TEST PIT #5	EXIST SAND/GRAVEL PIT	TEST PIT #5	EXIST SAND/GRAVEL PIT
0'-6"	10YR 3/3	0'-6"	10YR 3/3
LOAMY VERY FINE SAND GRANULAR, FRIABLE		LOAMY VERY FINE SAND GRANULAR, FRIABLE	
6'-18"	10YR 4/4	6'-16"	10YR 4/6
LOAMY SAND GRANULAR, FRIABLE		GRAVELLY LOAMY SAND GRANULAR, FRIABLE	
18'-36"	10YR 5/4	16'-36"	10YR 4/4
SAND SINGLE-GRAIN, LOOSE		COBBLY, GRAVELLY LOAMY SAND, GRANULAR FRIABLE	
36'-88"	2.5Y 6/3	36'-84"	10YR 6/4
SAND SINGLE-GRAIN, LOOSE		COBBLY, GRAVELLY COARSE SAND SINGLE-GRAIN, LOOSE	
7.5YR 4/6		7.5YR 4/6	
2.5Y 6/2		2.5Y 6/2	
SHWT = 36"		SHWT = 36"	
ROOTS TO 18"		ROOTS TO 18"	
H ₂ O AT 88"		H ₂ O AT 88"	
NO REFUSAL		NO REFUSAL	
TEST PIT, DATE: JUNE 29, 2021		TEST PIT, DATE: JUNE 29, 2021	
PERC. TEST, DATE: JUNE 29, 2021		PERC. TEST, DATE: JUNE 29, 2021	
2 MIN./INCH		2 MIN./INCH	

STONE & PIPE DESIGN CALCULATIONS

SENIOR HOUSING, 12 2-BEDROOM RESIDENTIAL HOME = 1,500 GPD 1,500 GPD @ 2 MIN./INCH = 1,875 S.F. REQUIRED PER ENV-WQ 1016-1. 1,925 S.F. PROVIDED.	50% RULE APPLIED HIGH POINT = 198.00 LOW POINT = 198.00 AVERAGE = 197.00 AVG. SHWT = 194.00
---	---

DESIGN INTENT

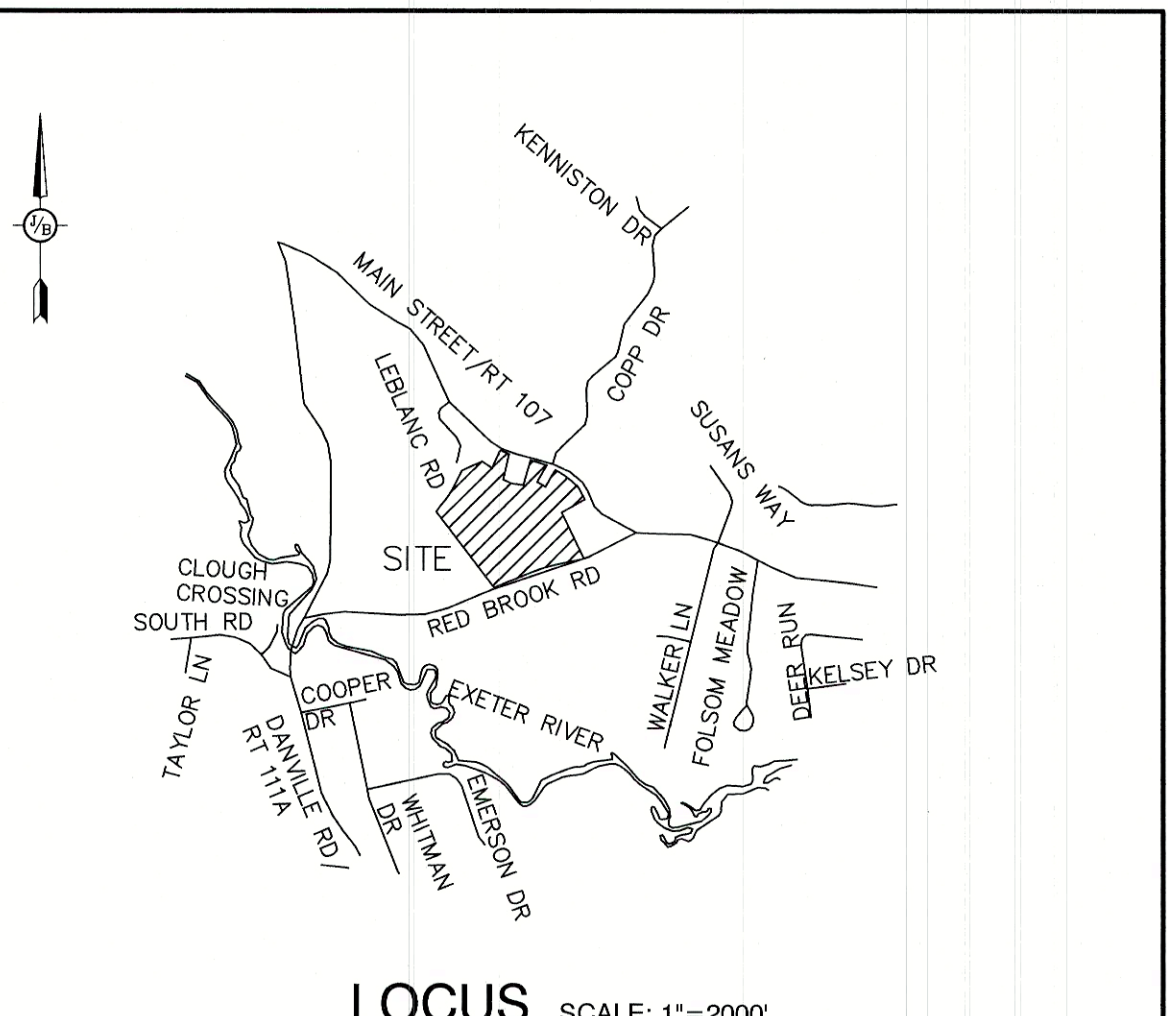
THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (E.D.S.) SHALL BE CONSTRUCTED AT ELEVATION 198.00. THIS IS APPROXIMATELY 0 FEET ABOVE ORIGINAL GROUND ON THE HIGH CONTOUR (198.00) OF THE DESIGNED E.D.S. (ENV-WQ-1003.13(aa))

GENERAL NOTES

- CONTRACTOR TO VERIFY ALL ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY DESIGNER OF ANY ABNORMAL CONDITIONS (HARDPAN OR SATURATED SOILS, LEDGE, ETC.) FOUND WHEN EXCAVATING PRIOR TO INSTALLATION OF THE SYSTEM.
- PER ENV-WQ 1016.03, CONTRACTOR IS TO PROTECT THE NATURAL ABSORPTION QUALITIES OF THE SOIL. DO NOT COMPACT OR DRIVE OVER THE AREA WITH EQUIPMENT AND PROTECT OPEN EXCAVATION TO PREVENT THE ENTRANCE OF SILT AND DEBRIS.
- FILL TO BE MEDIUM TO COARSE-TEXTURED SAND (0.5mm-2.0mm).
- REMOVE TOPSOIL BEFORE PLACING FILL.
- 4 INCH THICK LOAM & SEED AROUND PERIMETER OF FILL.
- CONTRACTOR TO INSTALL A VENT WHEN PROVIDING MORE THAN 18" OF COVER.
- CROWN SYSTEM TO SHED RAINWATER, SLOPE SYSTEM AWAY FROM HOUSE.
- SYSTEM WILL BE REPLACED IN SAME LOCATION IN CASE OF FAILURE.
- JOINTS ARE TO BE BELLED PVC OR STANDARD SLIP COLLARS.
- PER ENV-WQ 1010.11, THE FIRST COMPARTMENT IN MULTI-COMPARTMENT SEPTIC TANKS MUST BE AT LEAST 2/3 OF THE REQUIRED VOLUME.
- PER ENV-WQ 1010.10, EXCEPTING LEDGE TANKS, THE LIQUID DEPTH OF THE SEPTIC TANK IS TO BE AT LEAST 40".
- THE OUTLET BAFFLE SHALL BE A VENTED TEE WHICH SHALL EXTEND TO A DISTANCE BELOW THE SURFACE EQUAL TO 40% OF THE LIQUID DEPTH AND SHALL EXTEND ABOVE THE LIQUID LINE TO NOT LESS THAN ONE INCH FROM THE TOP OF THE TANK.
- ALL CONNECTIONS BETWEEN A SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE SEPTIC TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR THAT: (1) WILL ACCOMMODATE NORMAL MOVEMENT OF THE SEPTIC TANK WITHOUT LEAKING OR BREAKING; AND (2) HAS BEEN CERTIFIED BY ITS MANUFACTURER OR DISTRIBUTOR AS MEETING OR EXCEEDING THE APPLICABLE STANDARD IN ASTM C 1644-06, SECTION 7.
- CONTRACTOR TO PROVIDE RISERS FOR TANKS WITH MORE THAN 12' OF COVER.
- IF GARBAGE GRINDERS ARE DESIRED, SEPTIC TANK SHALL BE 50% LARGER. IF A BASEMENT EJECTOR PUMP IS DESIRED, SEPTIC TANK SHALL BE INCREASED BY 250 GALLONS.
- APPROVAL FOR CONSTRUCTION IS VALID FOR 4 YEARS FROM DATE OF ISSUE, EXCEPT APPROVAL IS ONLY VALID FOR 90 DAYS FOR FAILED SYSTEM REPLACEMENTS.
- TOWN OF FREMONT REQUIRES BED BOTTOM INSPECTION.
- PVC PIPING TO BE SUPPLIED BY: ELIMINATOR SYSTEMS INC. (603) 888-2242) OR EQUAL.
- SEPTIC TANK & D-BOX TO BE SUPPLIED BY: SHEA CONCRETE (800-696-7432) OR EQUAL.
- ROCKINGHAM COUNTY SOIL CONSERVATION SERVICE SOIL TYPE:
- ANY CHANGES TO SEPTIC TANK, BUILDING OR WELL LOCATION/ORIENTATION WILL REQUIRE AN AS-BUILT PLAN TO BE PROVIDED BY THE DESIGNER PRIOR TO NHDES FINAL INSPECTION.
- PER ENV-WQ 1004.10, SYSTEMS OVER 2,500 GPD ARE TO BE INSPECTED BY DESIGNER.
- PER ENV-WQ 1003.13(a)(3) THERE ARE NO KNOWN BURIAL SITES OR CEMETERIES ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.
- 50' SETBACK FROM POORLY DRAINED SOILS.
- DISTANCE FROM SEWER PIPE TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF SDR26 OR EQUIVALENT IS USED IN ACCORDANCE WITH ENV-WQ 1008.04(c)(1).
- DISTANCE FROM SEPTIC TANK TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF THE SEPTIC TANK IS EITHER MADE FROM PLASTIC OR COATED WITH A SEALANT TO PREVENT INFILTRATION AND EXFILTRATION IN ACCORDANCE WITH ENV-WQ 1008.04(c)(2).

WELL LOCATION

- INSTALLATION SHALL COMPLY WITH 'We 602.05' WELL LOCATION RULES
- IF THE WELL IS LOCATED LESS THAN 50' FROM THE STATE HIGHWAY RIGHT-OF-WAY AND OR LESS THAN 75' FROM THE PROPERTY LINE WITH DESIGN FLOWS FOR STRUCTURES UP TO 5 BEDROOMS. SPECIAL METHODS OF CONSTRUCTION SHALL INCLUDE BUT NOT BE LIMITED TO:
 - INSTALL NO LESS THAN 40' OF CASING INTO COMPETENT BEDROCK WHERE BEDROCK IS LESS THAN 20' FROM GROUND SURFACE
 - GROUTING THE CASING



LOCUS SCALE: 1"=2000'

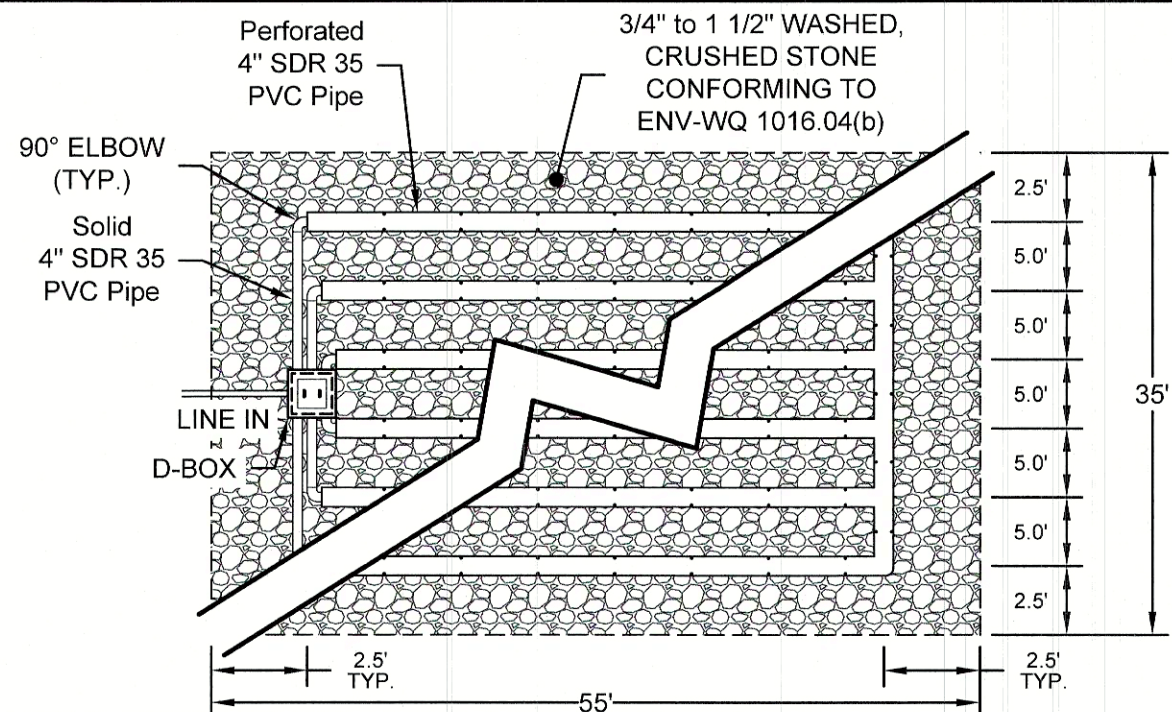


VICINITY SCALE: 1"=200'

REFERENCES

PUBLIC WATER SYSTEM PWS #	ISSUED:
SHORELAND IMPACT PERMIT APPROVAL #	REVISED:
PREV. CONSTRUCTION APPROVAL #	ISSUED:
SUBDIVISION APPROVAL #	ISSUED:

TYPICAL PLAN VIEW



ACTUAL SYSTEM UTILIZES 7 ROWS 4" SDR 35 PERFORATED PVC PIPE. SEE PLAN VIEW (SHEET S1) FOR ACTUAL LAYOUT/CONFIGURATION OF SYSTEM.

WETLAND DELINEATION

WETLANDS ON-SITE WERE DELINEATED BY:	JAMES H. LONG, CSS GZA GEOENVIRONMENTAL, INC. 5 COMMERCE PARK NORTH, SUITE 201 BEDFORD, NH 03110
--------------------------------------	---

DATE: WINTER, 2020

OWNER NOTES

- KNOW THE LOCATION OF YOUR SEPTIC TANK AND LEACHING AREA.
- INSPECT YOUR SEPTIC TANK YEARLY. HAVE THE SEPTIC TANK PUMPED AS NEEDED BUT AT LEAST ONCE EVERY THREE YEARS.
- DO NOT FLUSH BULKY ITEMS SUCH AS DIAPERS, SANITARY PADS OR BABY WIPES.
- DO NOT FLUSH TOXIC CHEMICALS SUCH AS PAINT THINNERS, DRANO, PESTICIDES, OR CHLORINE, AS THEY MAY KILL THE NECESSARY BACTERIA IN THE SEPTIC TANK.
- REPAIR LEAKING FIXTURES IN THE BUILDING PROMPTLY.
- BE CONSERVATIVE WITH WATER USE. SPREAD OUT USE OVER TIME, AND USE WATER-REDUCING FIXTURES WHENEVER AND WHEREVER POSSIBLE. TOO MUCH USE IN A SHORT TIME CAN OVERLOAD THE SYSTEM, WHICH MAY LEAD TO FAILURE.
- MOW YOUR LEACHING AREA REGULARLY. PREVENT DEEP-ROOTED TREES AND SHRUBS FROM GROWING ON AND ADJACENT TO YOUR LEACHING AREA.
- NO VEHICULAR TRAVEL, LIVESTOCK TRAVEL, OR SNOW REMOVAL IN AREA OF SYSTEM, UNLESS SPECIFICALLY DESIGNED FOR H2O LOADING.

Design: BWG	Draft: DFP	Date: 10/6/21
Checked: BWG	Scale: AS NOTED	Project No.: 20724
Drawing Name: 20724-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
0	10/6/21	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

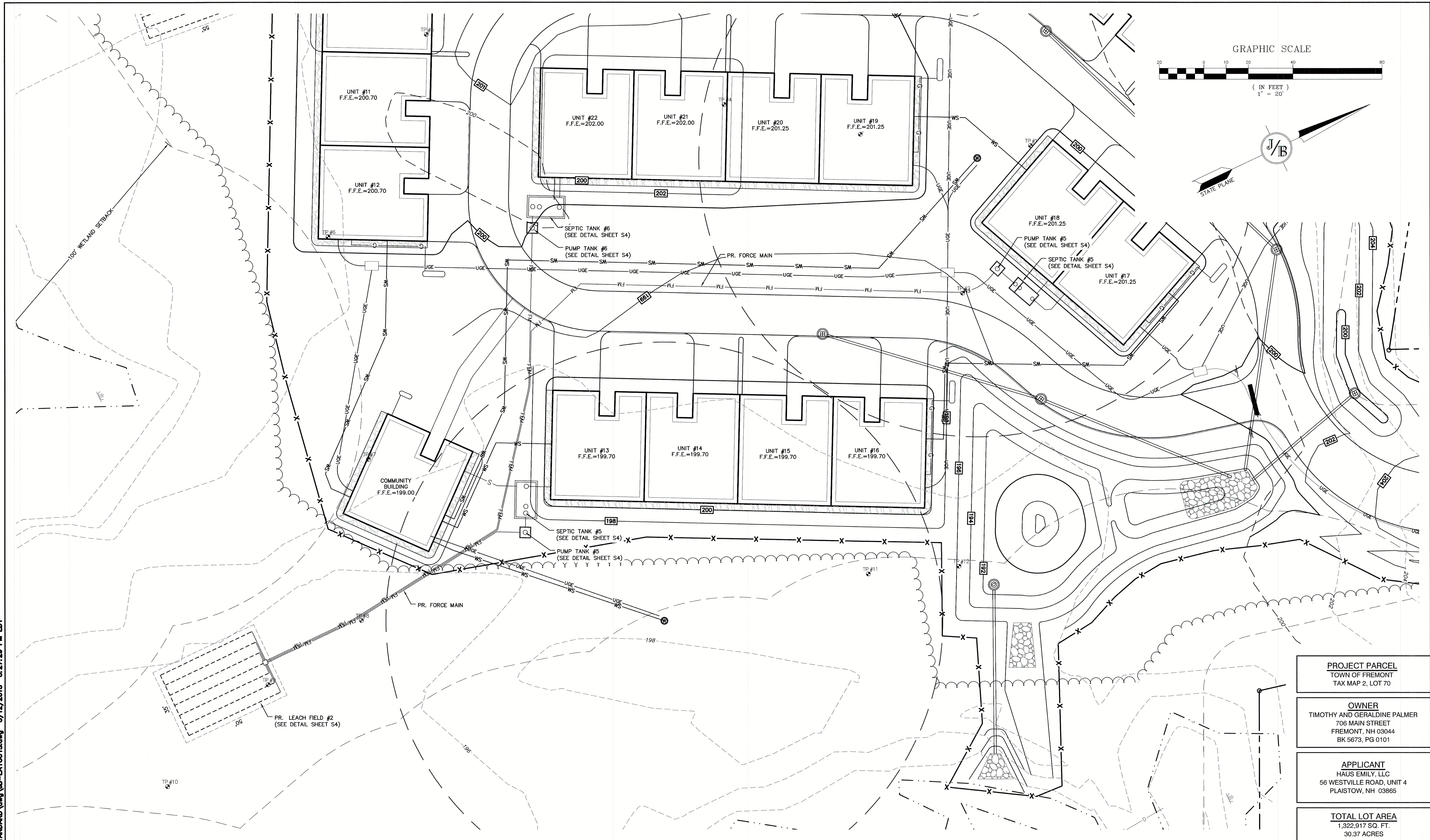
Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EFFLUENT DISPOSAL DESIGN - LF #1
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

DRAWING No.	S2
SHEET 12 OF 17	JBE PROJECT NO. 20724

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Design: BWG	Draft: DFP	Date: 10/6/21
Checked: BWG	Scale: AS NOTED	Project No.: 20724
Drawing Name: 20724-PLAN.dwg		
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0	10/6/21	ISSUED FOR REVIEW	BWG
REV.	DATE	REVISION	BY

J/B

Jones & Beach Engineers, Inc.

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Designed and Produced in NH

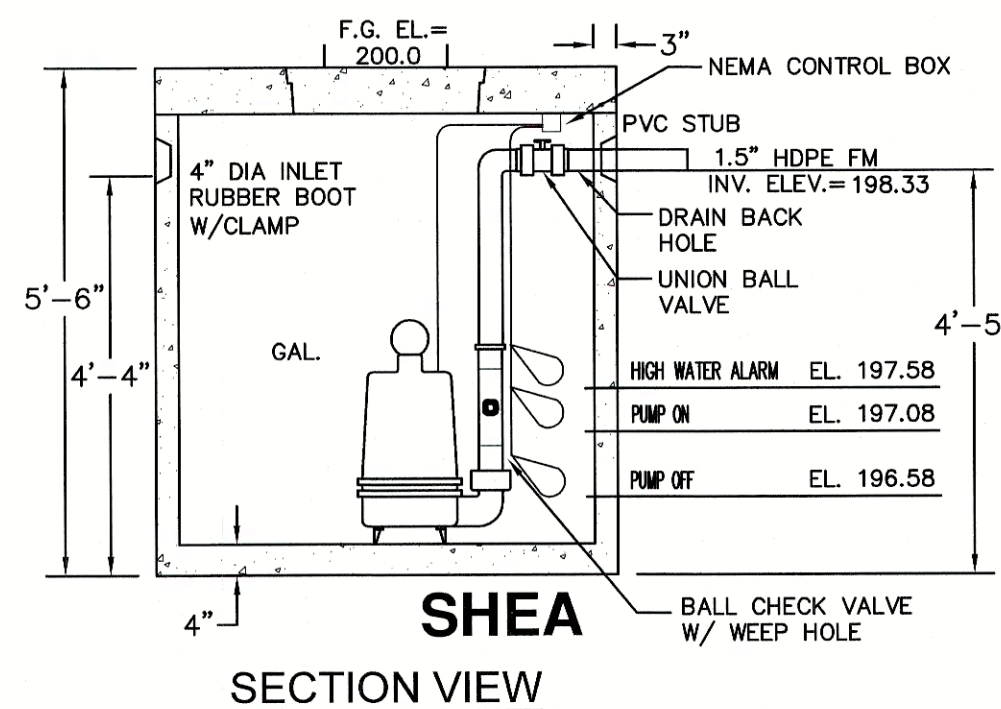
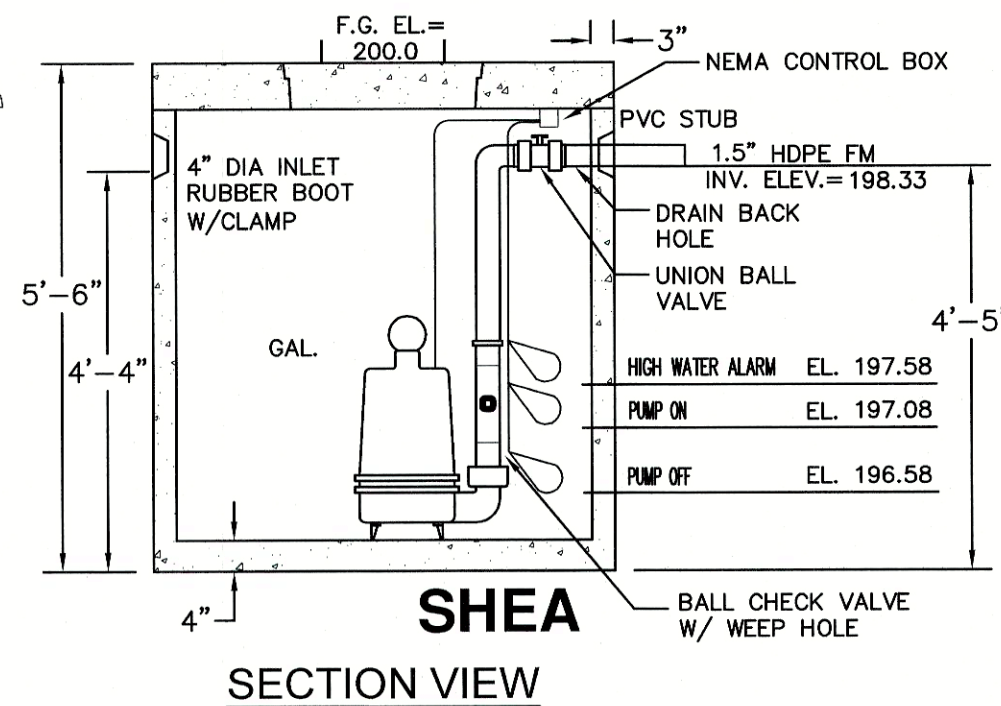
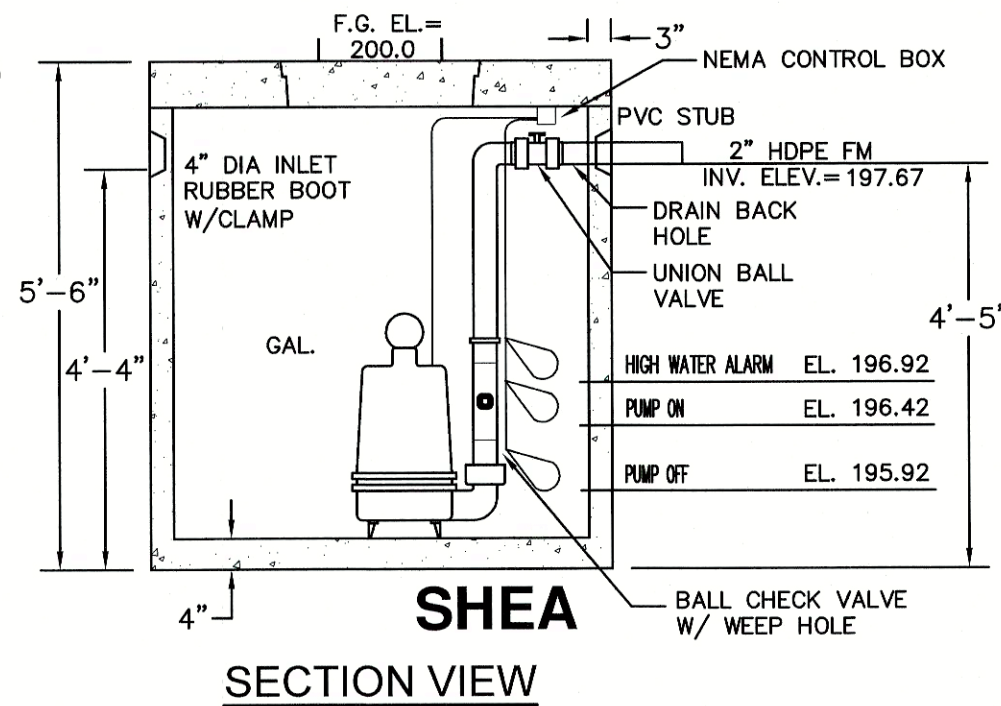
Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EFFLUENT DISPOSAL DESIGN - LF #2
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

DRAWING No.
S3
SHEET 13 OF 17 JBE PROJECT NO. 20724

PROJECT PARCEL TOWN OF FREMONT TAX MAP 2, LOT 70
OWNER TIMOTHY AND GERALDINE PALMER 706 MAIN STREET FREMONT, NH 03044 BK 5673, PG 0101
APPLICANT HAUS EMILY, LLC 56 WESTVILLE ROAD, UNIT 4 PLAISTOW, NH 03865
TOTAL LOT AREA 1,322,917 SQ. FT. 30.37 ACRES



0	10/6/21	ISSUED FOR REVIEW	BWG
REV.	DATE	REVISION	BY

STONE & PIPE DESIGN CALCULATIONS

BED DIMENSIONS 35' x 50'

DESIGN INTENT

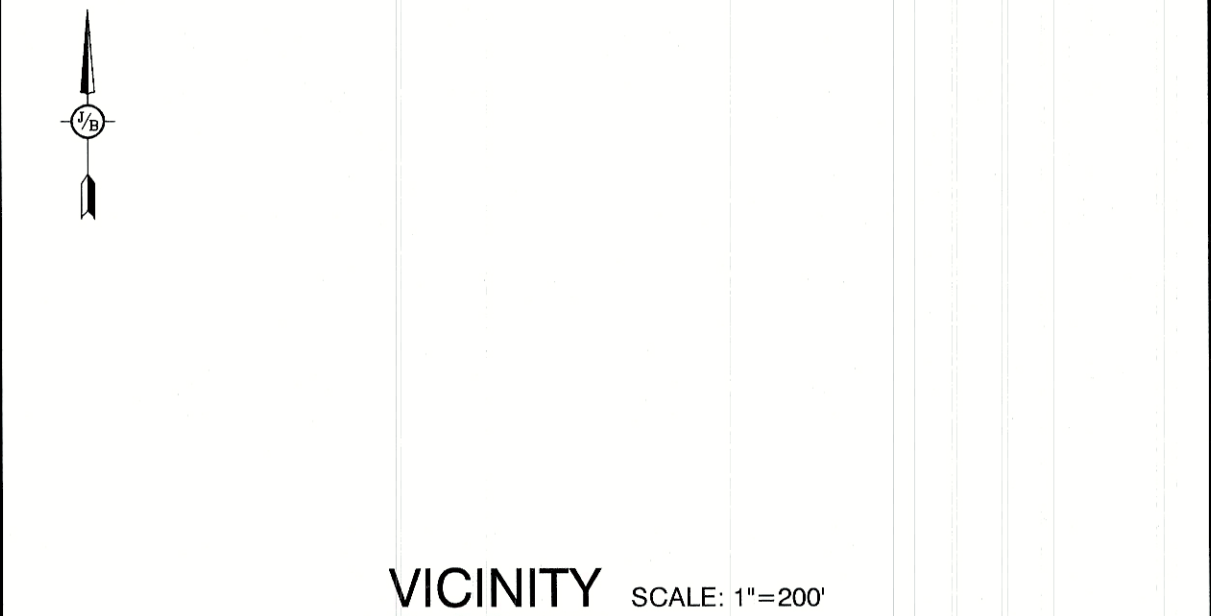
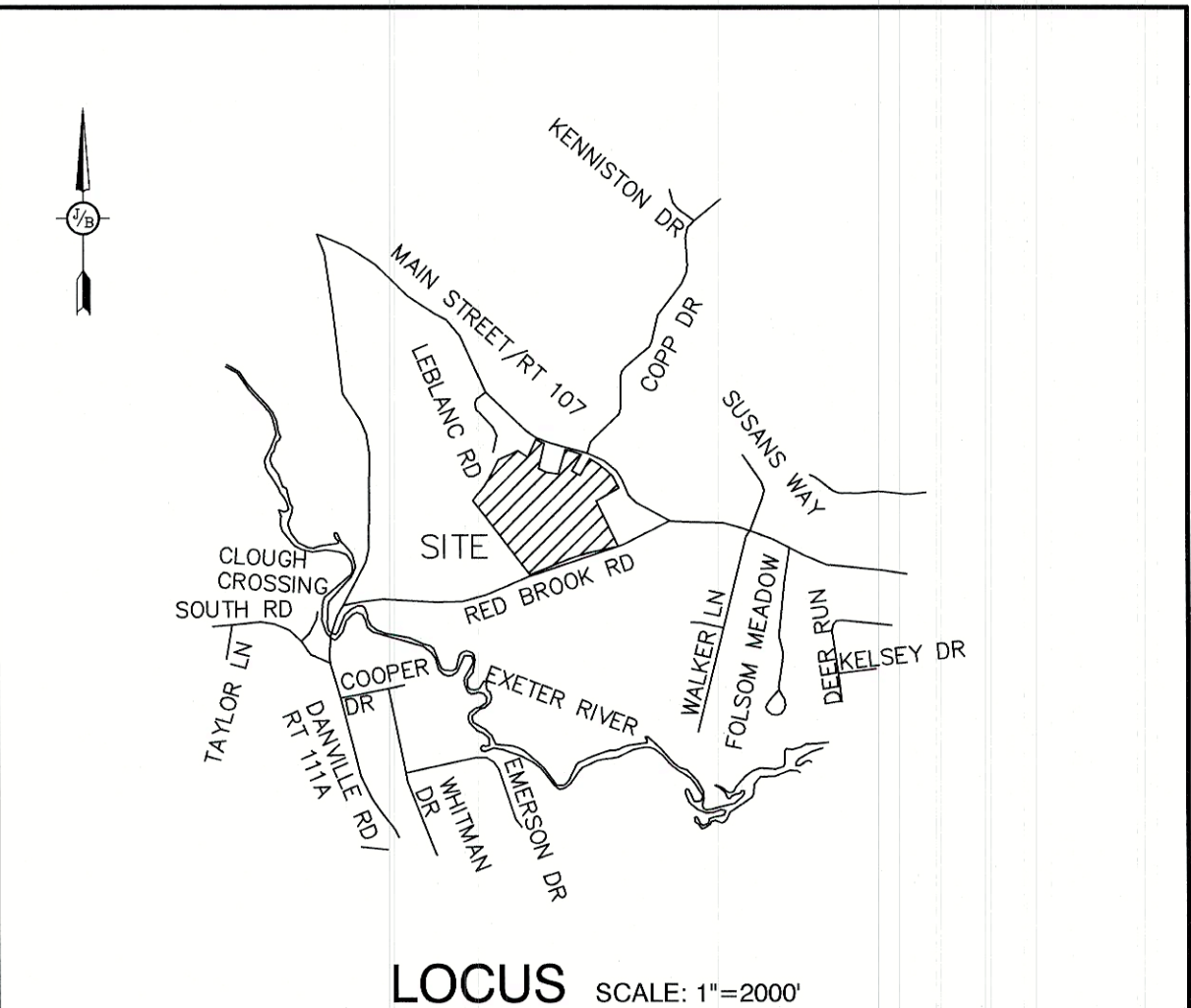
GENERAL NOTES

- ## WELL LOCATION

- Plan Name: **EFFLUENT DISPOSAL DESIGN - LF #2**

Project: MAIN STREET TOWNHOMES
MAIN STREET, FREMONT, NH

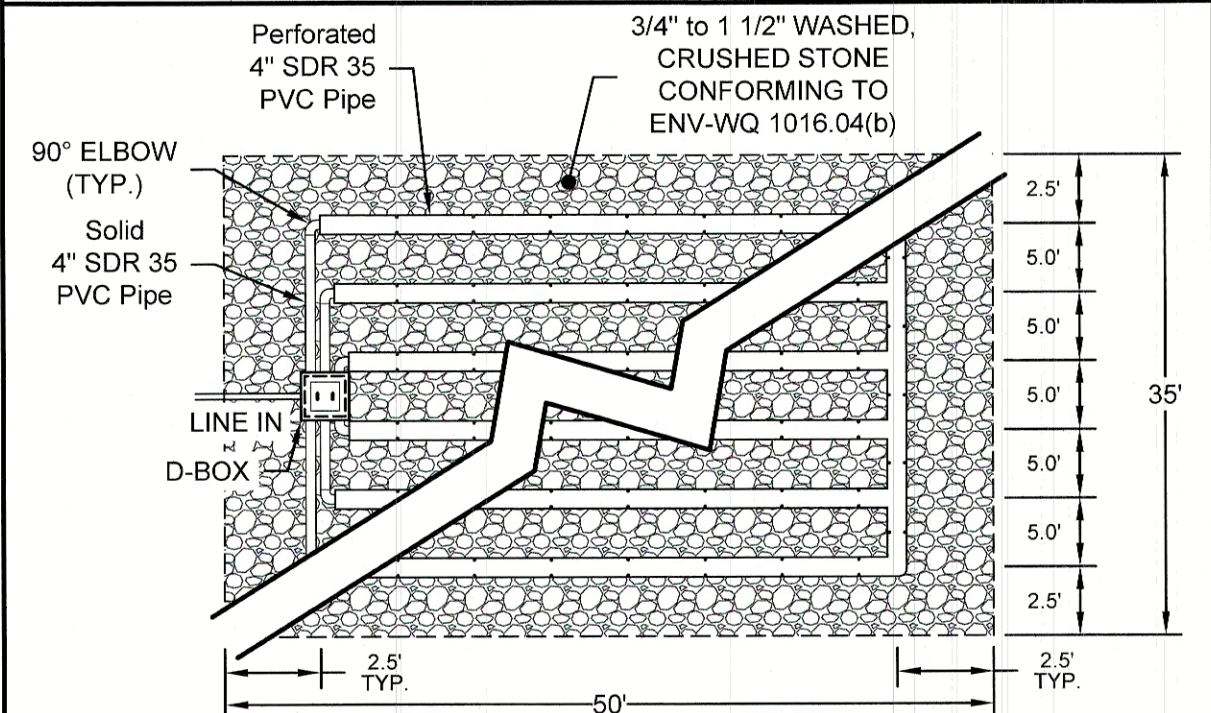
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044
------------------	--



REFERENCES

- PUBLIC WATER SYSTEM PWS # _____ ISSUED: _____
- SHORELAND IMPACT PERMIT APPROVAL # _____ REVISED: _____
- PREV. CONSTRUCTION APPROVAL # _____ ISSUED: _____
- SUBDIVISION APPROVAL # _____ ISSUED: _____

TYPICAL PLAN VIEW



ACTUAL SYSTEM UTILIZES 7 ROWS 4" SDR 35 PERFORATED PVC PIPE.
SEE PLAN VIEW (SHEET S3) FOR ACTUAL LAYOUT/CONFIGURATION OF SYSTEM


WETLAND DELINEATION

WETLANDS ON-SITE WERE DELINEATED BY:	JAMES H. LONG, CSS GZA GEOENVIRONMENTAL, INC. 5 COMMERCE PARK NORTH, SUITE 201 BEDFORD, NH 03110
---	---

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 Designed and Produced in NH
Jones & Beach Engineers, Inc.

 85 Portsmouth Ave. *Civil Engineering Services* 603-772-4746
 PO Box 219 FAX: 603-772-0227
 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

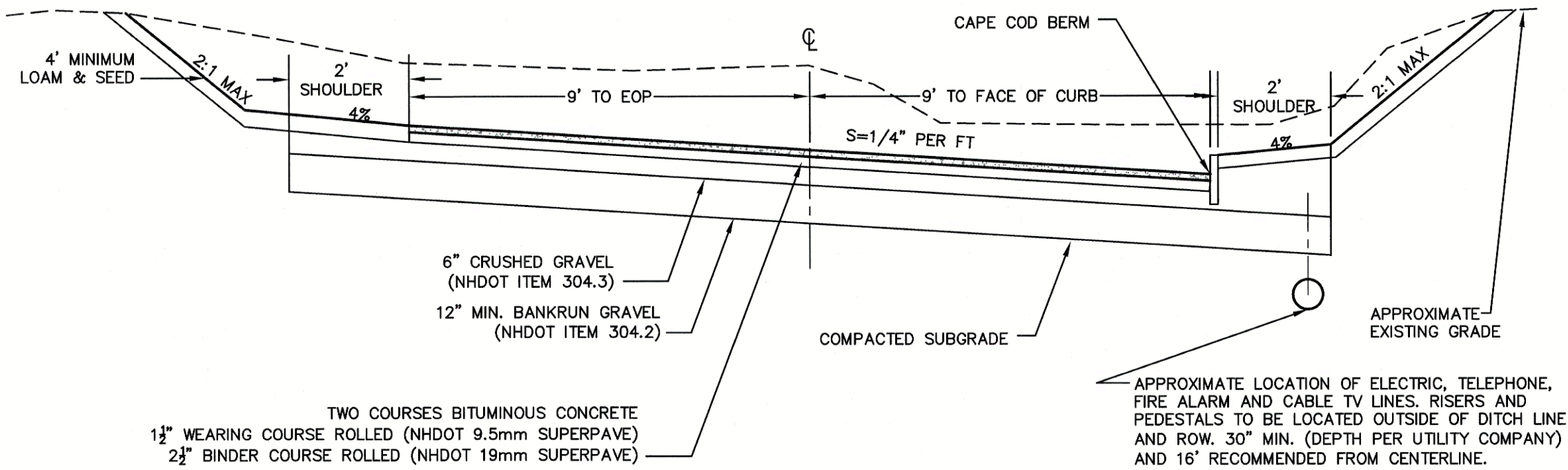
85 Portsmouth Ave. *Civil Engineering Services* 603-772-4746
PO Box 219 FAX: 603-772-0227
Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

DRAWING No.

S4

SHEET 14 OF 17
JBE PROJECT NO. 20724

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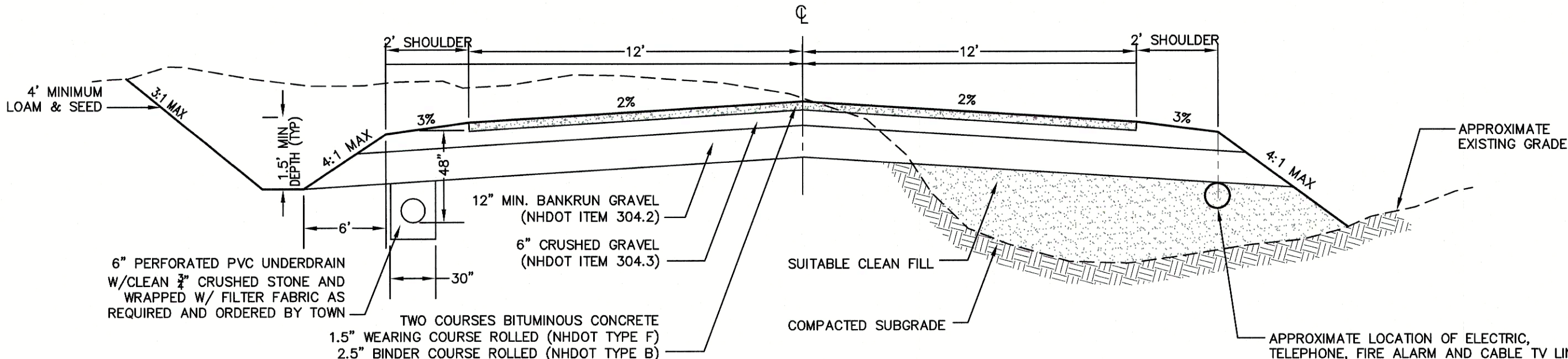


NOTES:

1. REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBBASE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36" BELOW FINISH GRADE AND BE REPLACED WITH GRAVEL COMPACTED TO 95%.
2. ALL MATERIALS TO BE AS SPECIFIED PER TOWN STANDARDS AND NHDOT, WHICHEVER IS MOST STRINGENT. GRADATION AND COMPACTION TEST RESULTS (95% MIN.) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
3. TOWN OR ENGINEER MAY REQUIRE UNDERDRAIN, ADDITIONAL GRAVEL AND/OR ADDITIONAL DRAINAGE IF SOIL CONDITIONS WARRANT.
4. WOVEN GEOTEXTILE FABRIC SHALL BE PLACED ABOVE SUBGRADE AT ALL WETLAND CROSSINGS.
5. UNDERDRAIN TO BE INSTALLED IN ALL CUT-SECTION OF ROADWAY.

TYPICAL 18' ROADWAY SUPERELEVATED SECTION

NOT TO SCALE

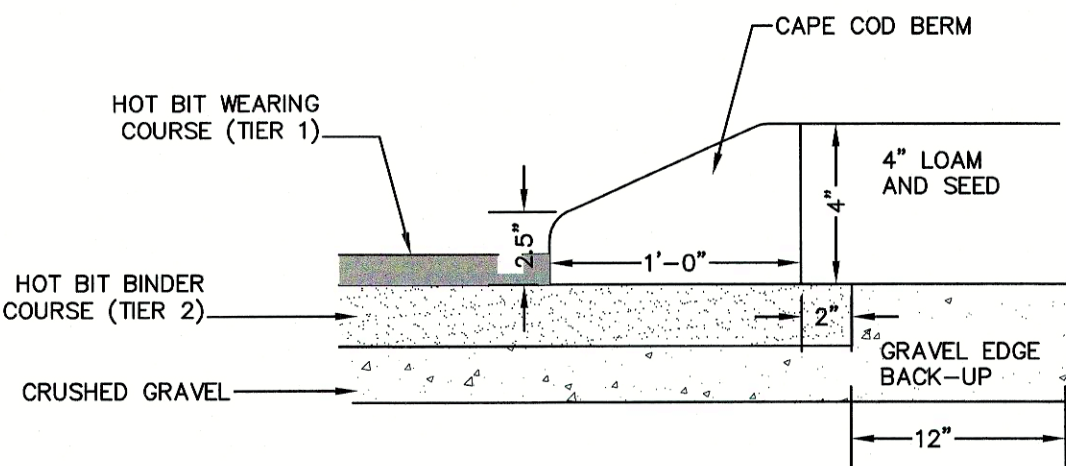


NOTES:

1. REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBBASE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36" BELOW FINISH GRADE AND BE REPLACED WITH GRAVEL COMPACTED TO 95%.
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3. TOWN MAY REQUIRE UNDERDRAIN, ADDITIONAL GRAVEL AND/OR ADDITIONAL DRAINAGE IF SOIL CONDITIONS WARRANT.
4. WOVEN GEOTEXTILE FABRIC SHALL BE PLACED ABOVE SUBGRADE AT ALL WETLAND CROSSINGS.
5. ALL WORKMANSHIP AND MATERIAL INCORPORATED IN ROADWAY, DRAINAGE, AND INFRASTRUCTURE SHALL CONFIRM WITH STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS PUBLISHED AND AMENDED BY THE NHDOT AND ANY SUPERSEDING LOCAL REGULATIONS.
6. INSTALLATION OF A MINIMUM DEPTH OF 12" OR LESS OF SAND BETWEEN BEDROCK AND SUBGRADE IF AND TO THE EXTENT APPLICABLE.

TYPICAL 24' ROADWAY SECTION

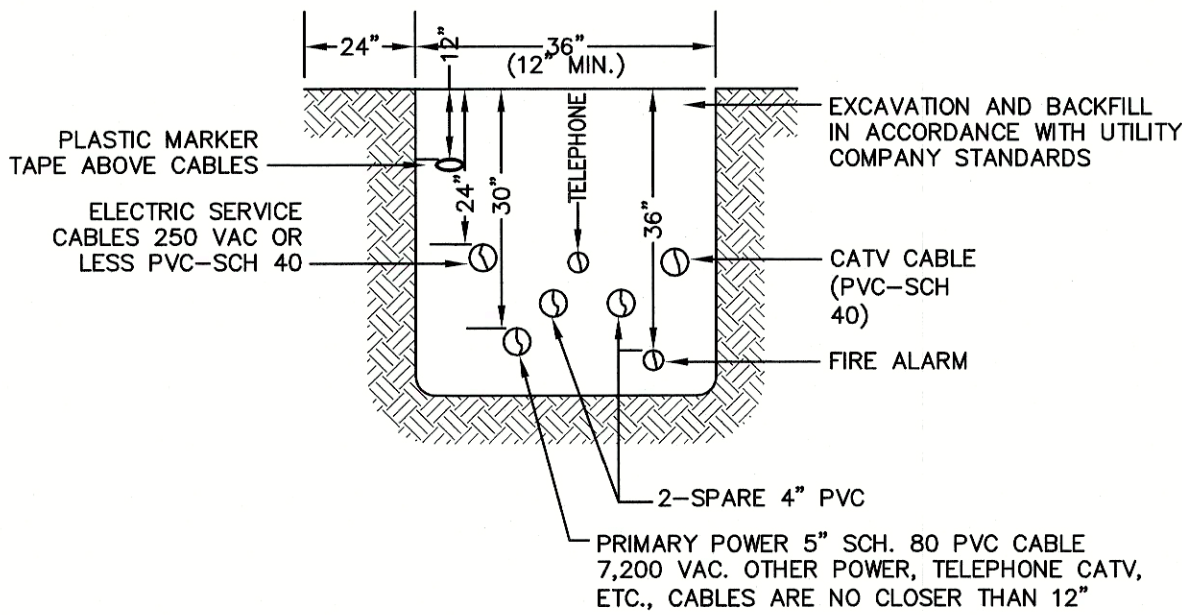
NOT TO SCALE



THE CAPE COD BERM IS TO BE CONSTRUCTED OF A POLYFIBER CURB MIX CONTAINING 59.2% SAND, 27.6% 3/8" STONE, 9.2% 1/2" STONE, 0.3% FIBERS, AND 3.0% ASPHALT.

CAPE COD BERM

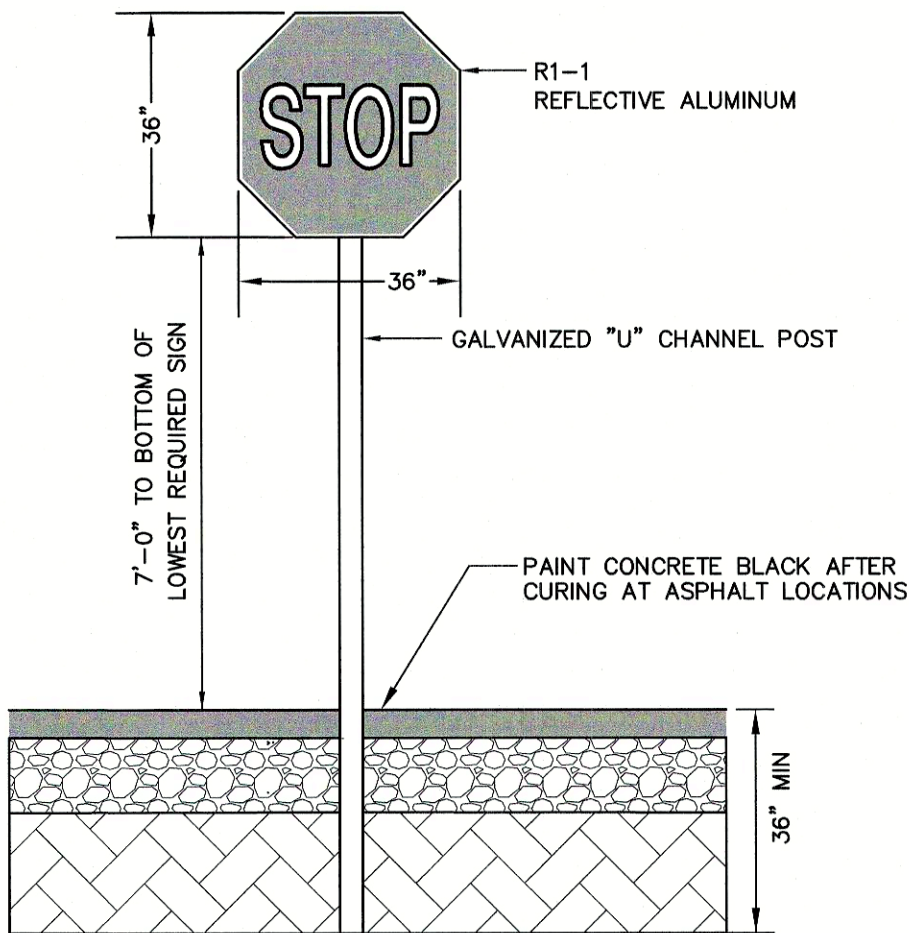
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NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

UTILITY TRENCH

NOT TO SCALE

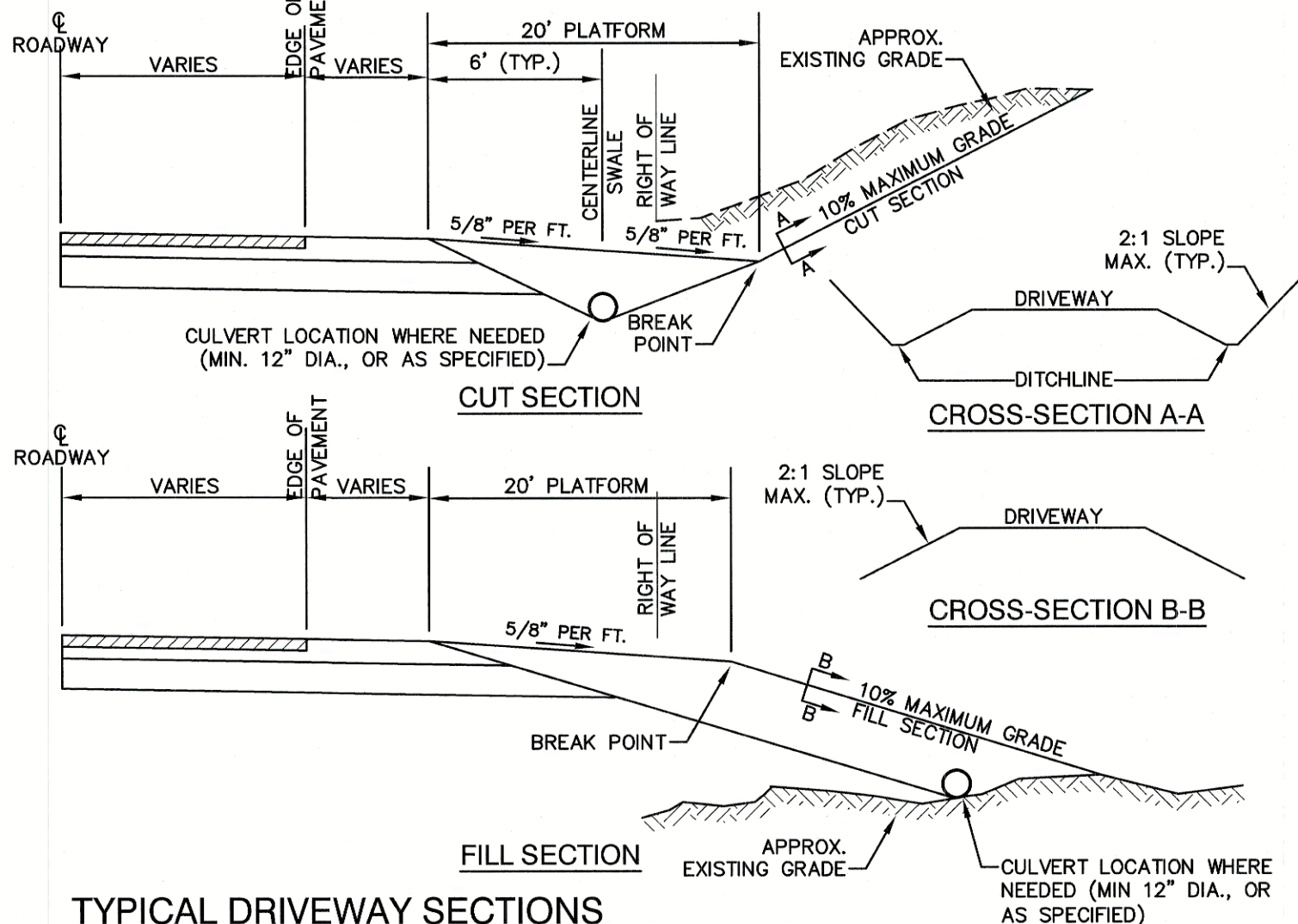


STOP SIGN (R1-1)

NOT TO SCALE

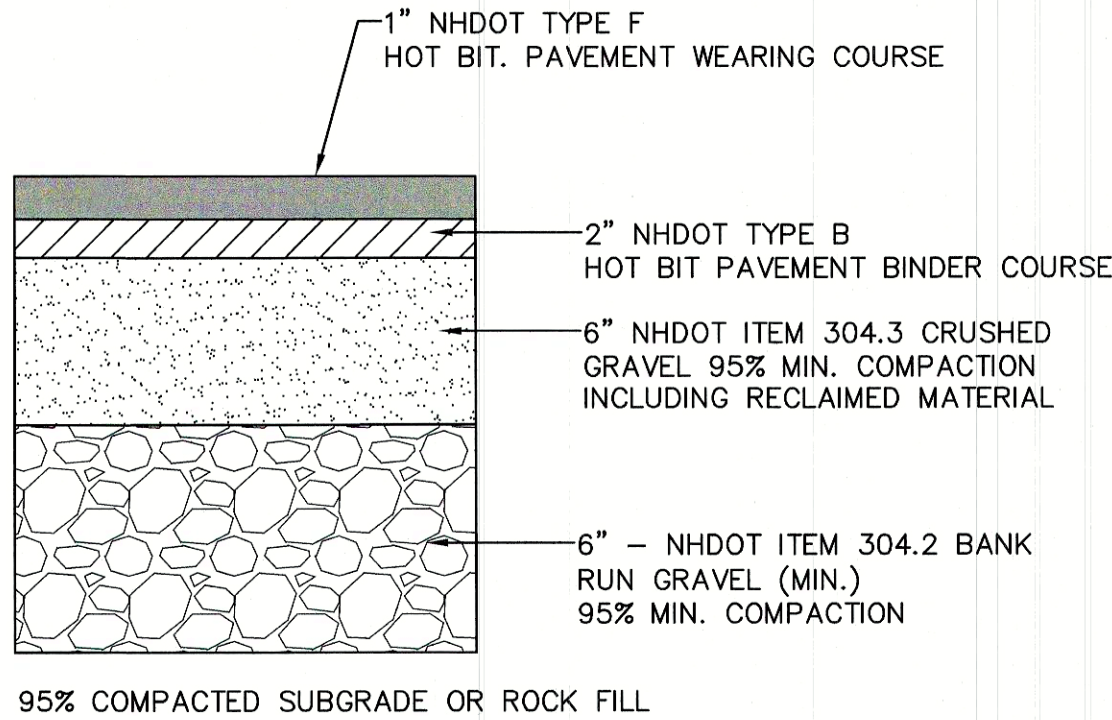
NOTES:

1. ALL SIGNAGE SHALL BE TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS AND NHDOT STANDARDS.
2. SIGN, HARDWARE, AND INSTALLATION TO CONFORM TO 2016 NHDOT STANDARD SPECIFICATION, SECTION 615 - TRAFFIC SIGNS.
3. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS/CATALOG CUTS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ERECTING SIGNS.



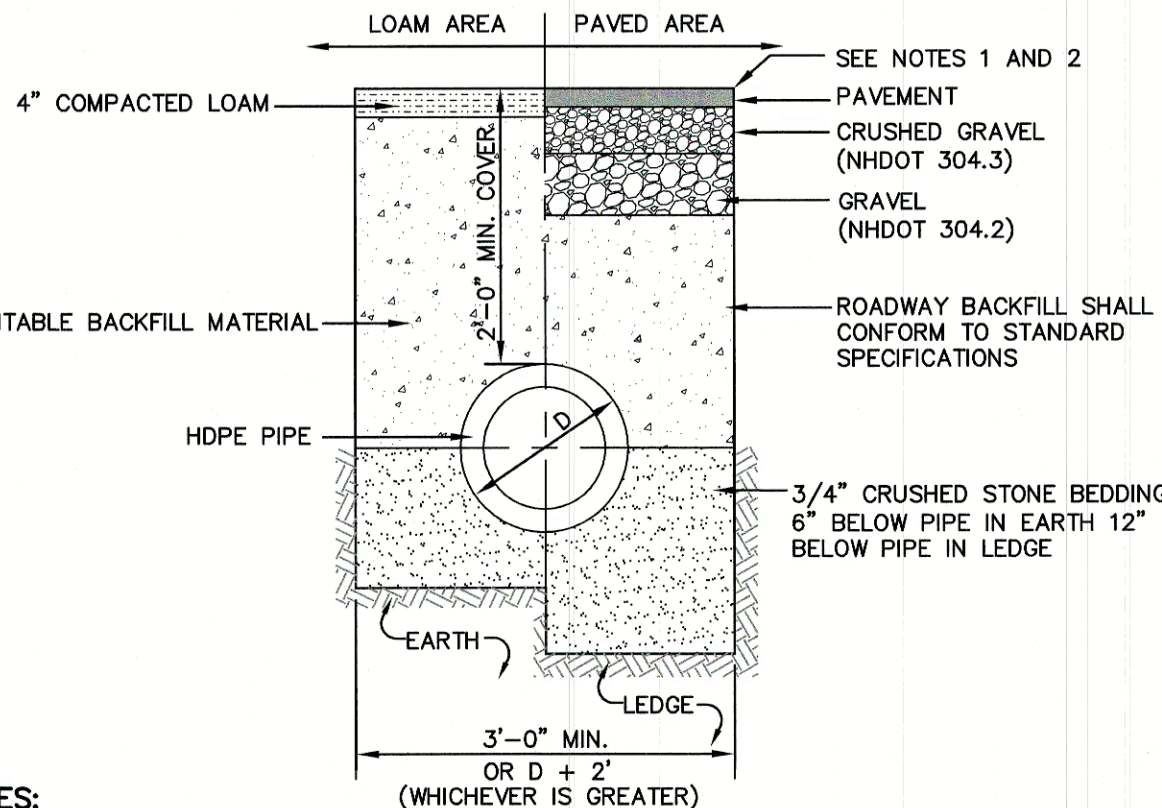
TYPICAL DRIVEWAY SECTIONS

NOT TO SCALE



TYPICAL BITUMINOUS PAVEMENT

NOT TO SCALE



NOTES:

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
3. ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

DRAINAGE TRENCH

NOT TO SCALE

Design: BWG	Draft: DFP	Date: 10/6/21
Checked: BWG	Scale: AS NOTED	Project No.: 20724
Drawing Name: 20724-PLAN.dwg		
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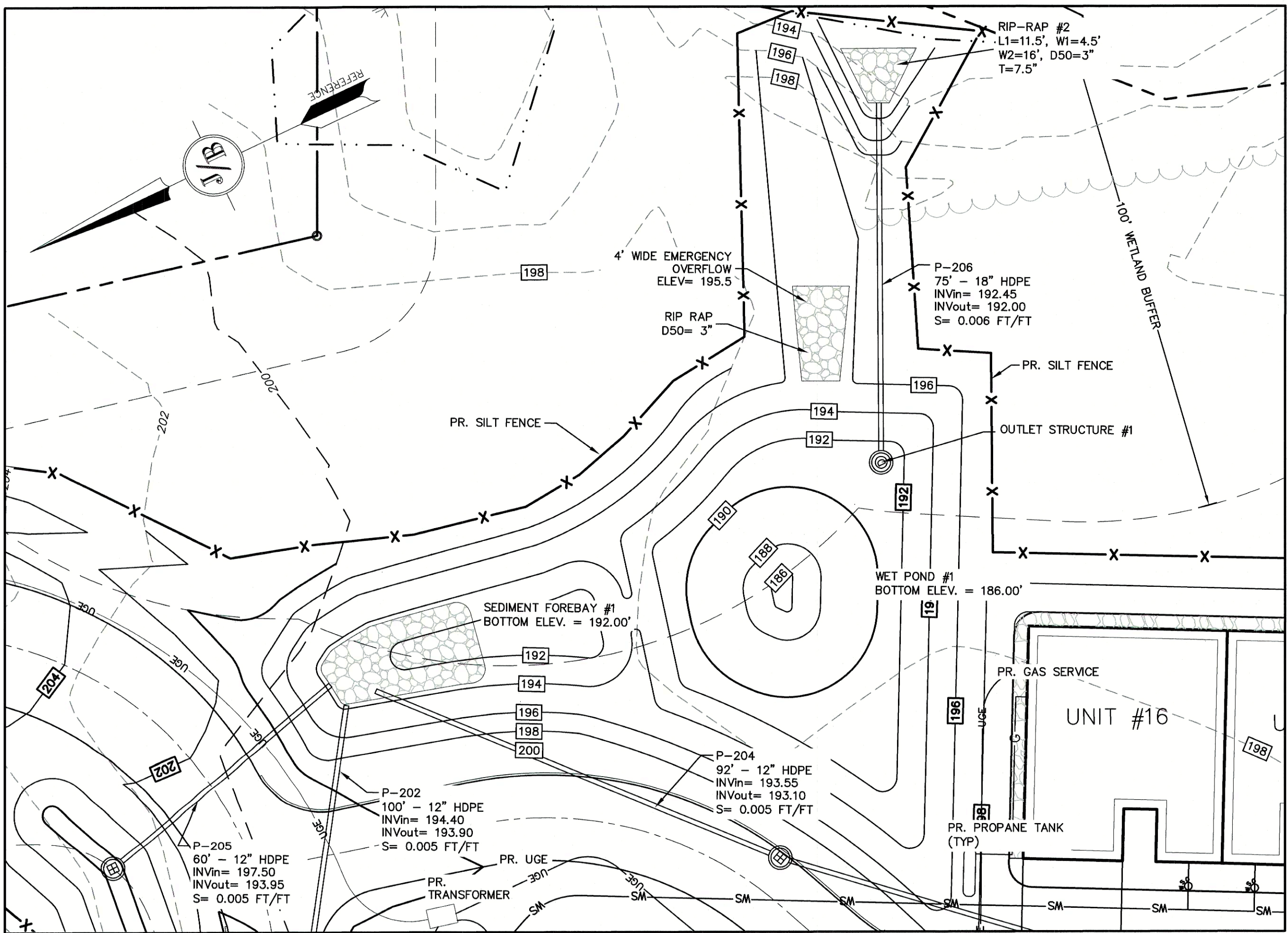
0	10/6/21	ISSUED FOR REVIEW	BWG
REV.	DATE	REVISION	BY

Designed and Produced in NH	
J/B Jones & Beach Engineers, Inc.	
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885	Civil Engineering Services 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

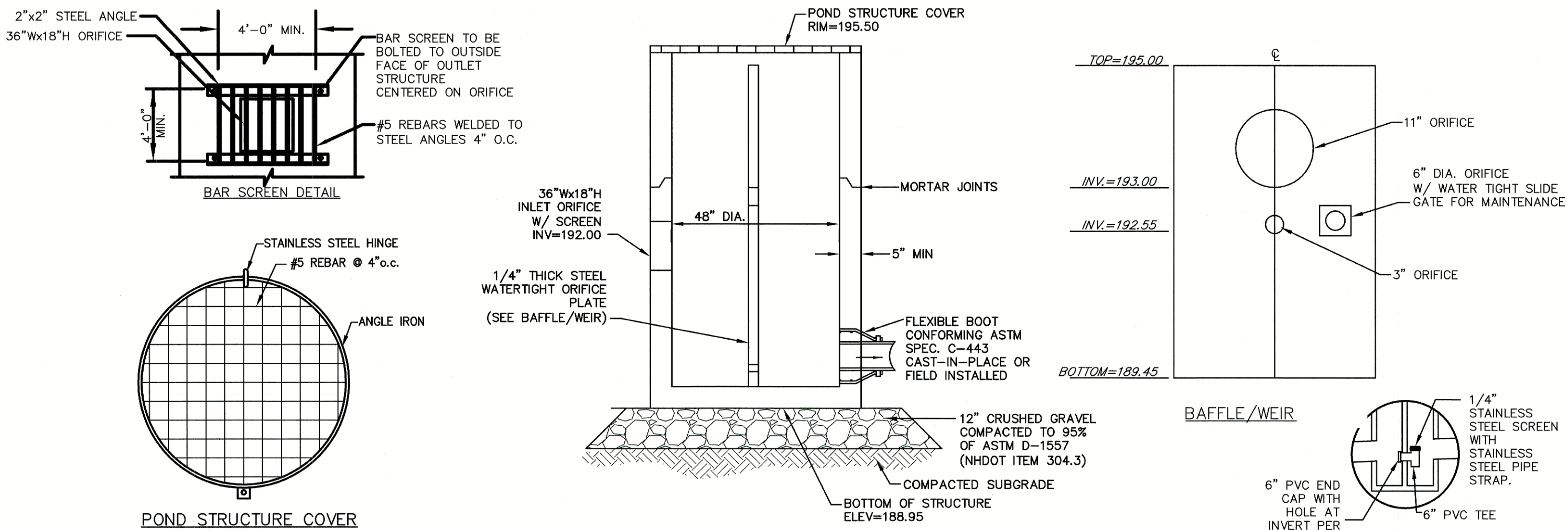
DRAWING No.
D1
SHEET 15 OF 17 JBE PROJECT NO. 20724

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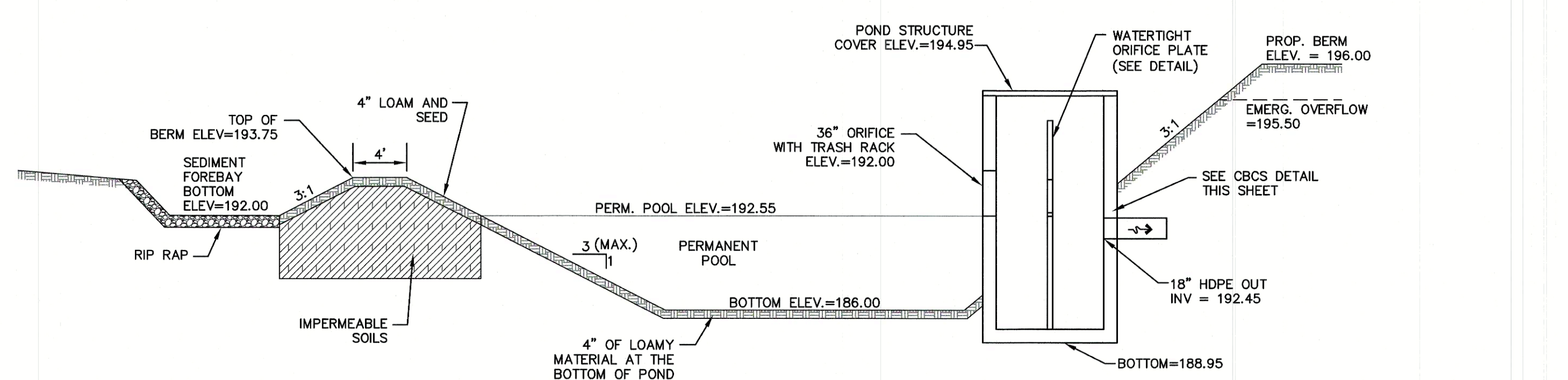
STORMWATER POND #1

SCALE: 1" = 20'



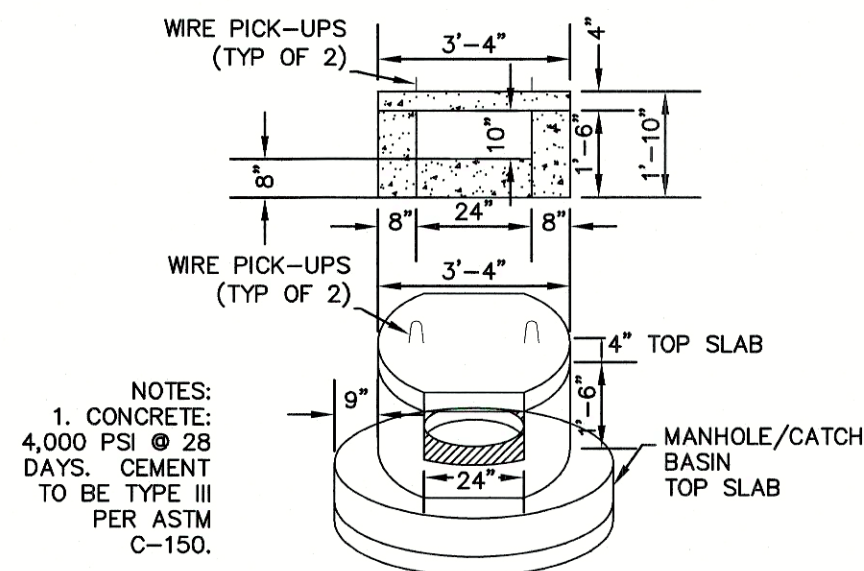
OUTLET STRUCTURE #1 (OS #1)

NOT TO SCALE



WET POND SECTION

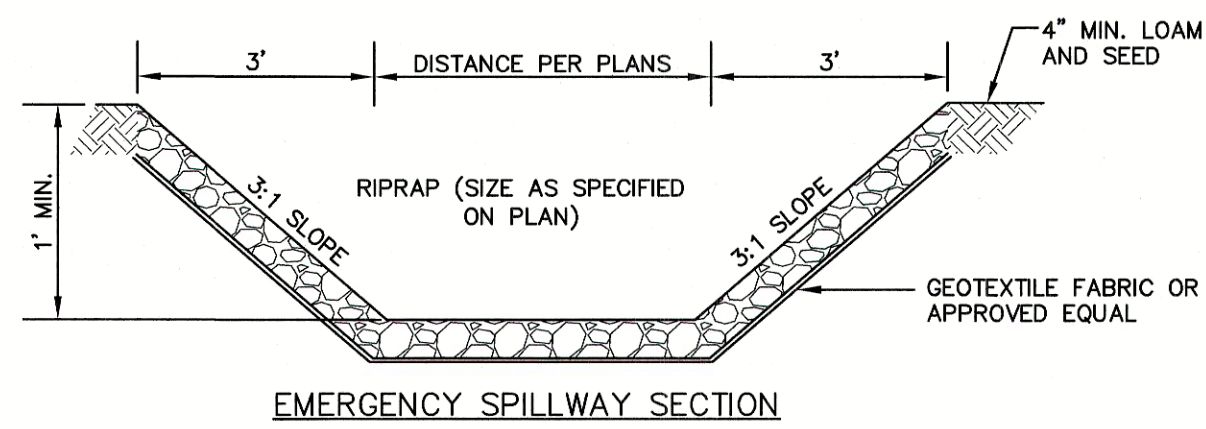
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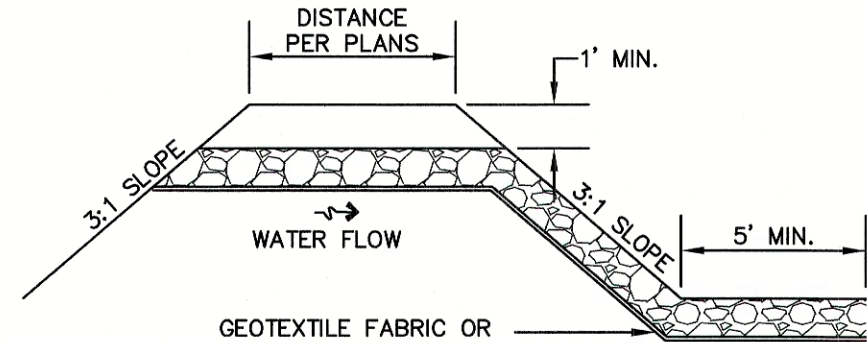
NHDOT CATCH BASIN TYPE "C" THROAT

NOT TO SCALE

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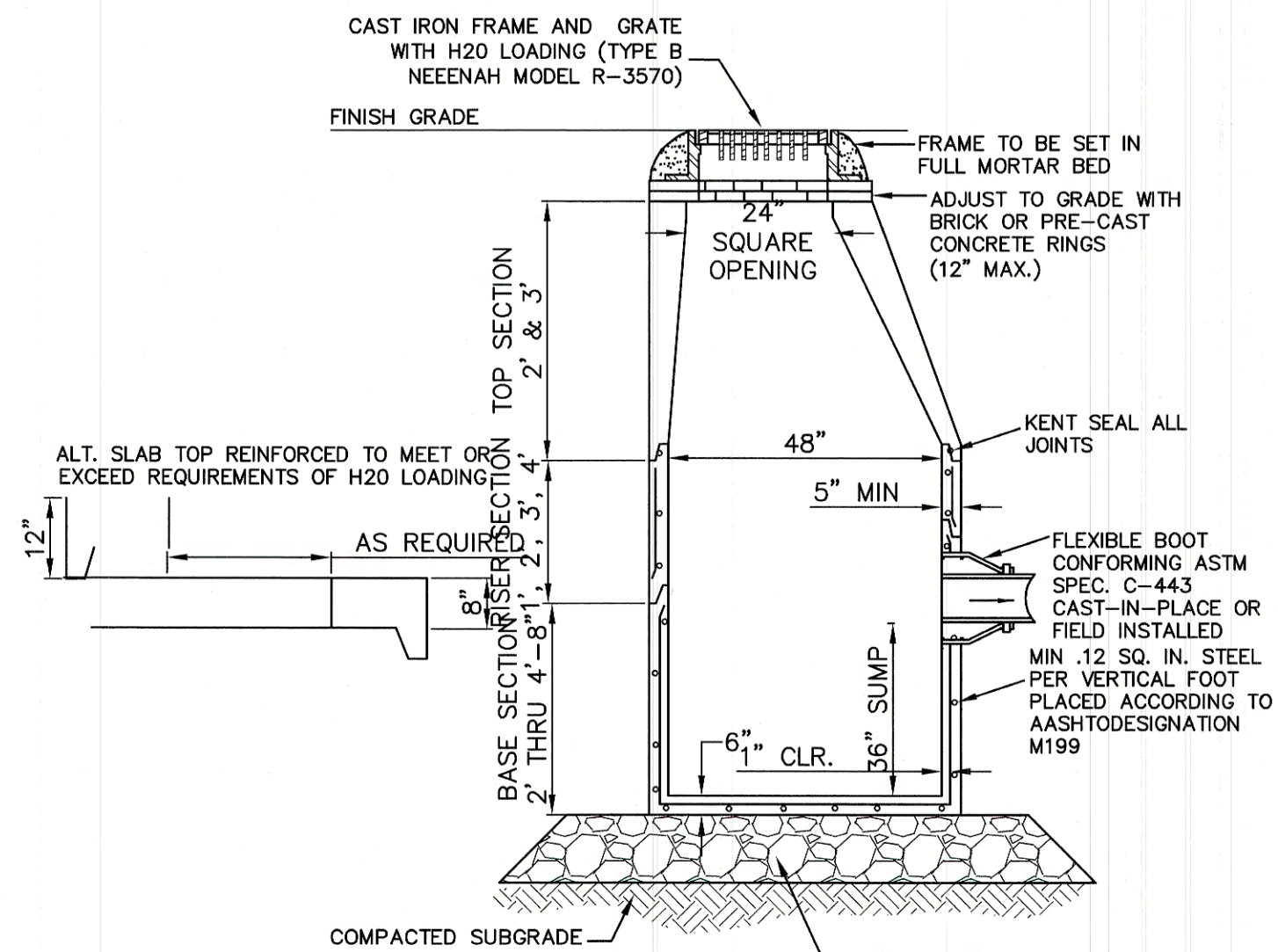
EMERGENCY SPILLWAY SECTION



EMERGENCY SPILLWAY PROFILE

EMERGENCY SPILLWAY

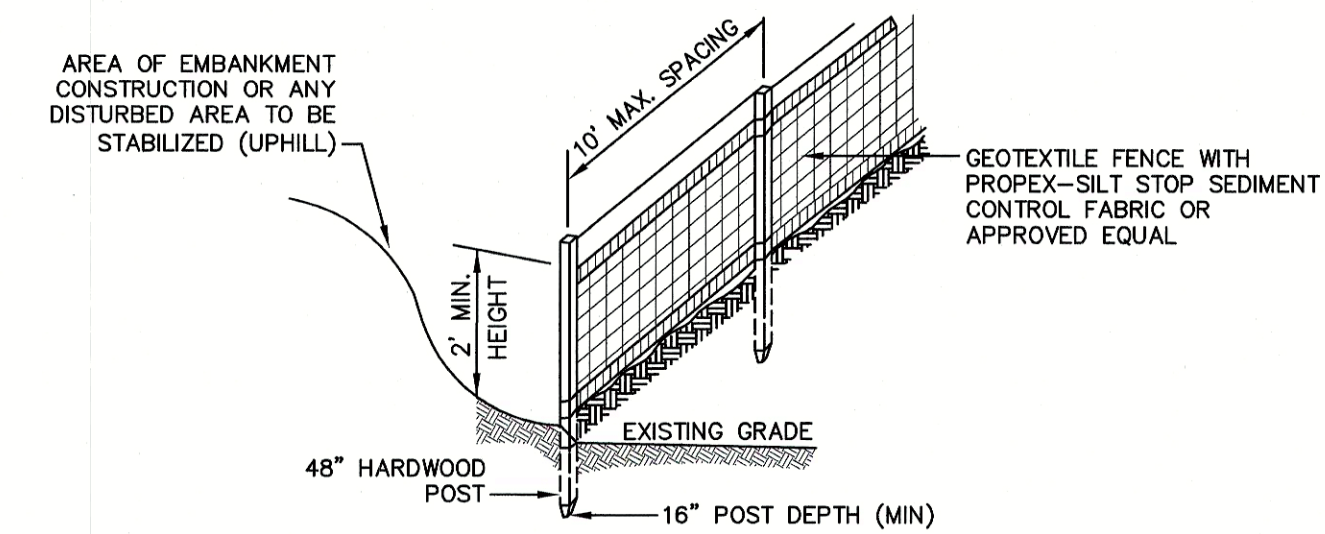
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TEMPORARY EROSION CONTROL NOTES

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 5 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE BELOW).
- PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
- IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
 - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS STABLE.
 - DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY ½ INCH OR GREATER RAIN EVENT (I.E. ½ INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
 - THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17 AND ALL APPLICABLE DES PERMIT CONDITIONS.

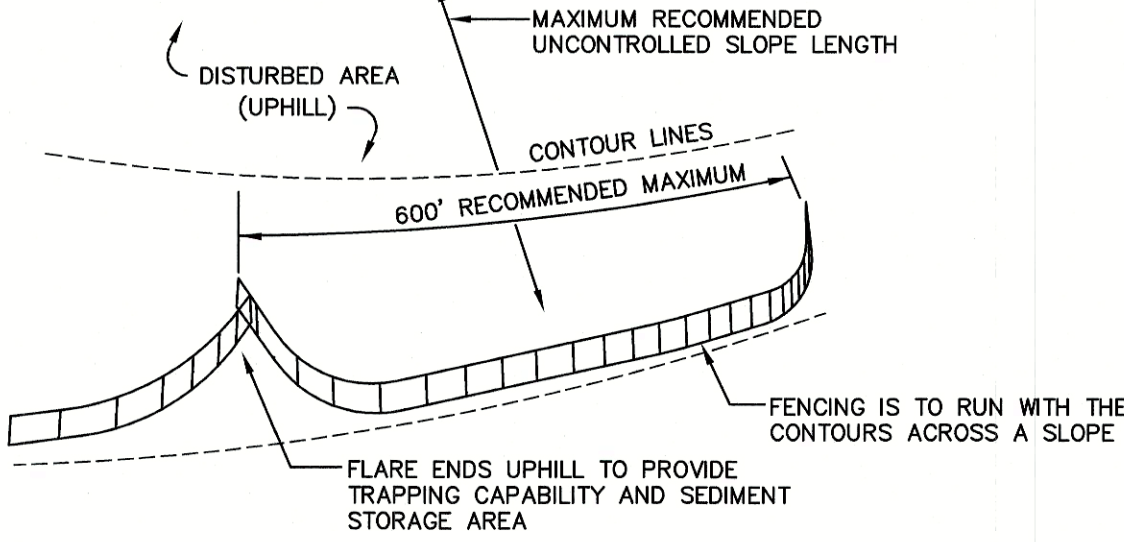


CONSTRUCTION SPECIFICATIONS:

- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
- THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE "BULGES" DEVELOP IN THE SILT FENCE.
- PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
- SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

SILT FENCE

NOT TO SCALE



- SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SEEDING SPECIFICATIONS

- GRADING AND SHAPING
 - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDSFOOT, TREFOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH
 - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND
 - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

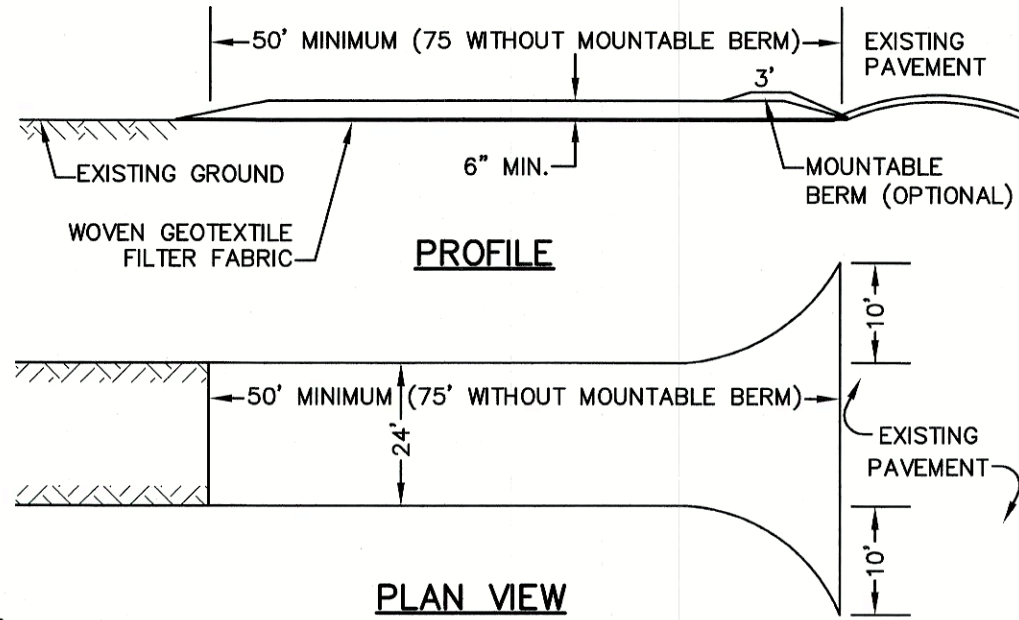
USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	GOOD	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/
GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.					
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.					

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE CREEPING RED FESCUE RED TOP TOTAL	20	0.45
	20	0.45
	2	0.05
	42	0.95
B. TALL FESCUE CREEPING RED FESCUE CROWN VETCH OR FLAT PEA TOTAL	15	0.35
	10	0.25
	15	0.35
	30	0.75
	40 OR 55	0.95 OR 1.35
C. TALL FESCUE CREEPING RED FESCUE BIRDS FOOT TREFOIL TOTAL	20	0.45
	20	0.45
	8	0.20
	48	1.10
D. TALL FESCUE FLAT PEA TOTAL	20	0.45
	30	0.75
	50	1.20
E. CREEPING RED FESCUE 1/ KENTUCKY BLUEGRASS 1/ TOTAL	50	1.15
	50	1.15
	100	2.30
F. TALL FESCUE 1	150	3.60
1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.		

SEEDING RATES



NOTES:

- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, 75' WITHOUT A MOUNTABLE BERM, AND EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

CONSTRUCTION SEQUENCE

- PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION. AT LEAST A TEMPORARY CULVERT OR ROADBED TO BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
- STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS.
- PREPARE BUILDING PAD(S) TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
- INSTALL THE DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ABUTTING WATERS AND/OR PROPERTY.
- PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF "SELECT" SUBGRADE MATERIALS.
- PAVE ALL PARKING LOTS AND ROADWAYS WITH INITIAL "BASE COURSE".
- PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. BUILDING, UTILITY CONNECTIONS, ETC.).
- LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH "FINISH" COURSE.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.

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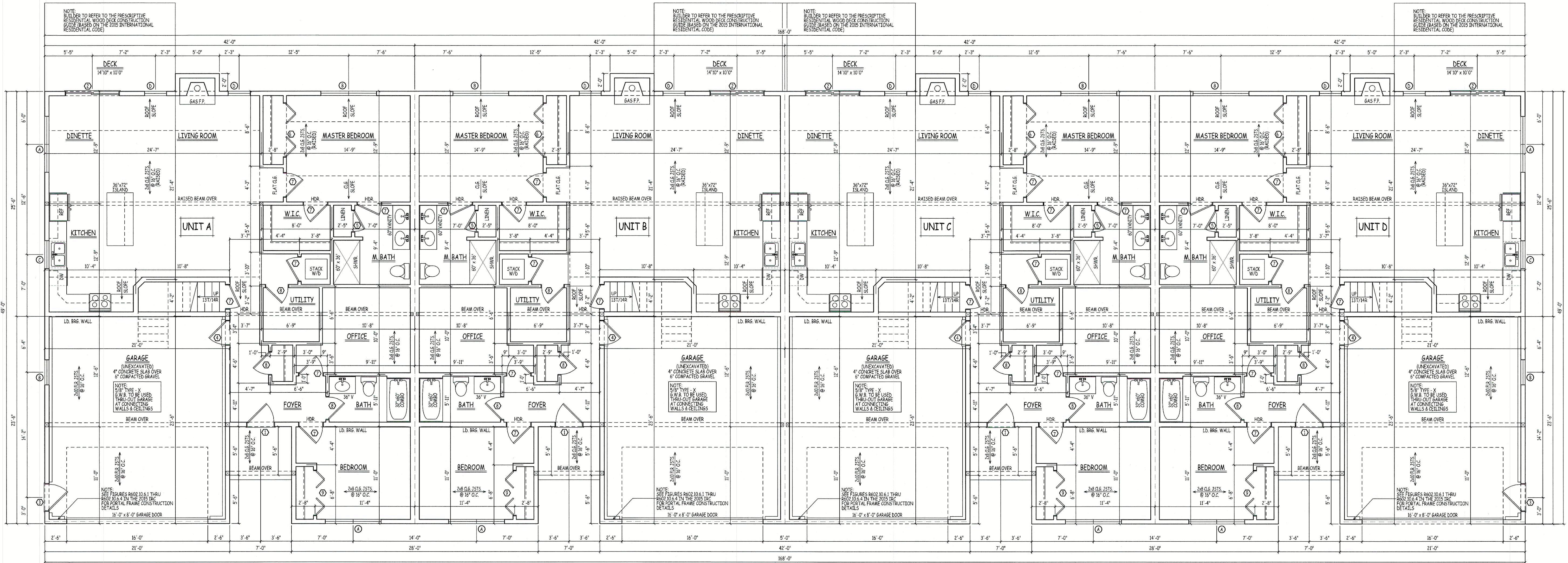
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Designed and Produced in NH
Civil Engineering Services
E-MAIL: JBE@JONESANDBEACH.COM

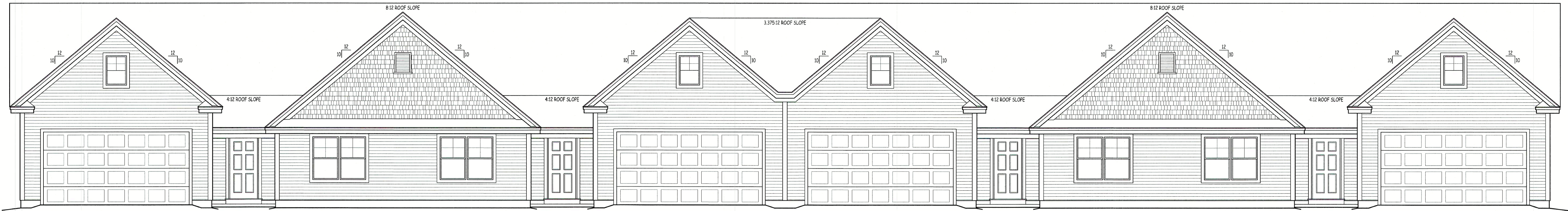
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FAX: 603-772-0227

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	MAIN STREET TOWNHOMES MAIN STREET, FREMONT, NH
Owner of Record:	TIMOTHY & GERALDINE PALMER 706 MAIN STREET, FREMONT, NH 03044

DRAWING No.
E1
SHEET 17 OF 17 JBE PROJECT NO. 20724



FIRST FLOOR PLAN (1,495 SQ. FT. EACH UNIT)
SCALE: 3/16" = 1'-0"



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

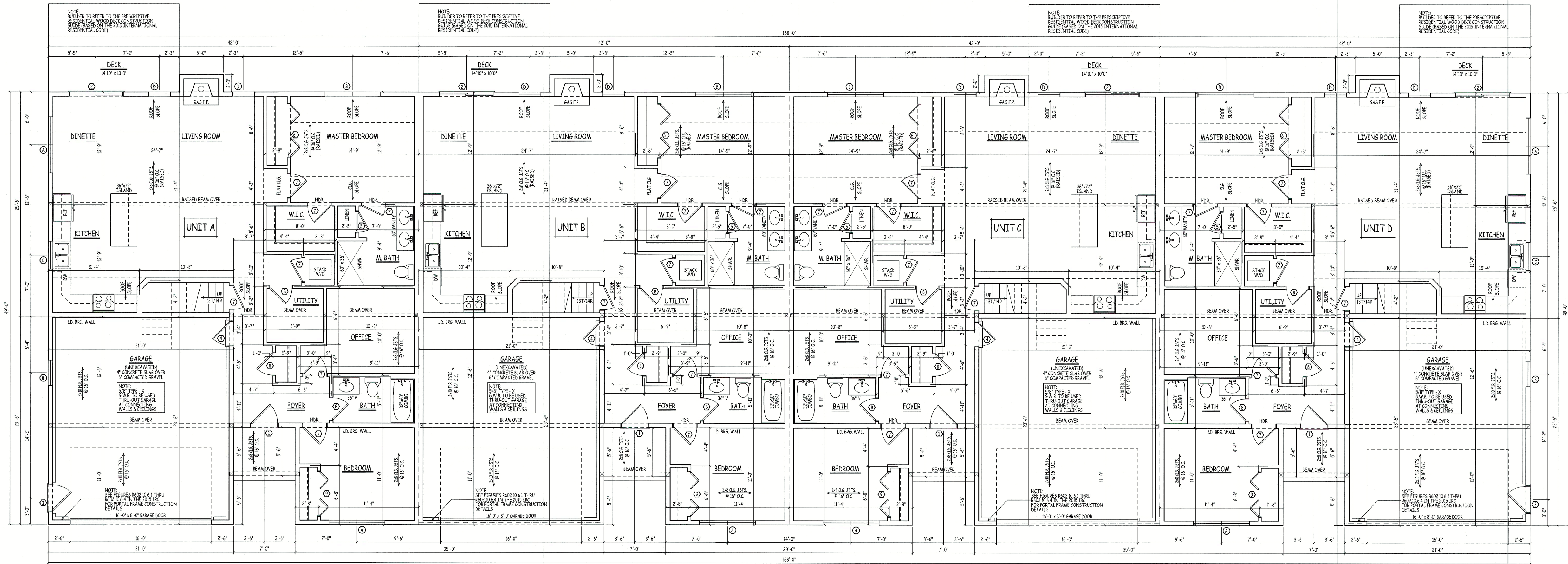
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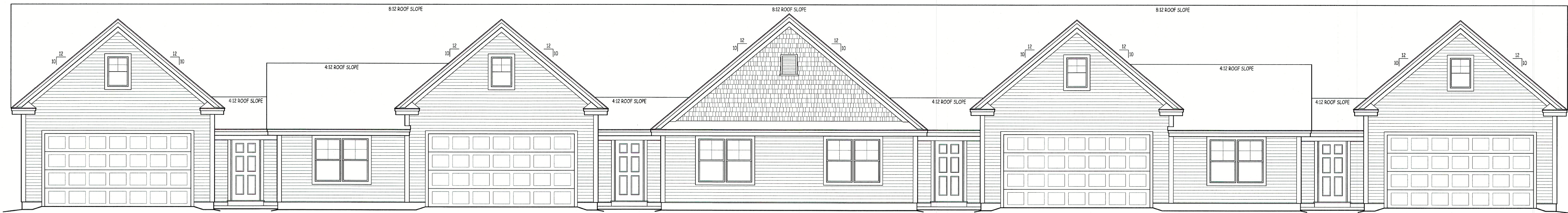
PROJECT: MAIN STREET FREEMONT NH
PREPARED FOR: GARY DENSEN

DRAWN BY: AD/TW
CHECKED BY: 6D
DATE DRAWN: 8/31/21
DATE ISSUED: 8/31/21
SCALE: PER SHEET
JOB NO.: Z1-065MF

NO.	DATE	REVISION
1	7/18/21	PRELIMINARY FLOOR PLAN RELEASED FOR REVIEW
2	7/29/21	PRELIMINARY FLOOR PLAN RELEASED FOR REVIEW
3	8/7/21	ADD STAIR TO STORAGE REUSE ROOF PITCH, ETC.
4	8/31/21	REVISIONS TO PLANS FOR NEW QUAD PLEX DESIGN



FIRST FLOOR PLAN
(1,495 SQ. FT. EACH UNIT)
SCALE: 3/16" = 1'-0"



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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PROJECT:
MAIN STREET FREEMONT NH

PREPARED FOR:
GARY DENSEN

NO.	DATE	REVISION
1	7/18/21	PRELIMINARY FLOOR PLAN RELEASED FOR REVIEW
2	7/29/21	PRELIMINARY FLOOR PLAN RELEASED FOR REVIEW
3	8/17/21	ADD STAIR TO STORAGE REVERSE ROOF PITCH, ETC.
4	8/31/21	REVISIONS TO PLANS FOR NEW QUAD PLED DESIGN

2