

SITE PLAN & LOT LINE ADJUSTMENT

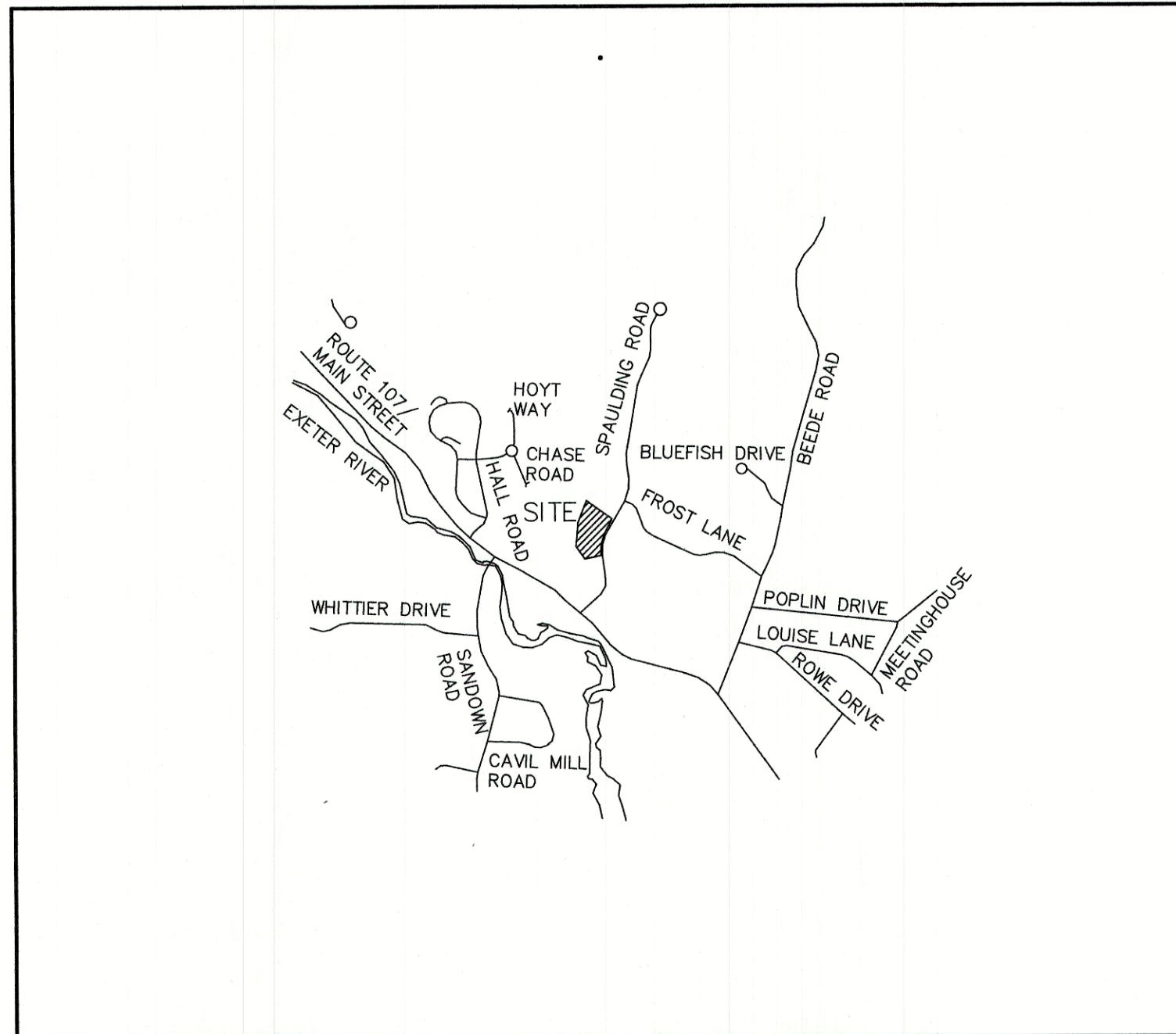
PPM TOWNHOMES

TAX MAP 3 LOT 37-3 & 37-2

SPAULDING ROAD, FREMONT, NH

SHEET INDEX

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E1	EROSION AND SEDIMENT CONTROL DETAILS



LOCUS MAP
SCALE 1" = 2000'

PERMITS

TYPE OF PERMIT	STATUS	TYPE OF PERMIT	STATUS
NHDES SUBDIVISION PERMIT: NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES - SUBSURFACE SYSTEMS BUREAU 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:	TOWN OF FREMONT SITE PLAN APPROVAL: TOWN OF FREMONT PLANNING BOARD 295 MAIN STREET FREMONT, NEW HAMPSHIRE 03044 (603) 895-2226 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:
NHDES INDIVIDUAL SEPTIC PERMIT: NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES - SUBSURFACE SYSTEMS BUREAU 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:	TOWN OF FREMONT DRIVEWAY PERMIT: TOWN OF FREMONT PLANNING BOARD 295 MAIN STREET FREMONT, NEW HAMPSHIRE 03044 (603) 895-2226 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:
USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT, NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION (NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION: EPA STORMWATER NOTICE PROCESSING CENTER MAIL CODE 4203M, US EPA 1200 PENNSYLVANIA AVENUE, NW WASHINGTON, DC 20460 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.			

ADDITIONAL APPROVALS

- ON JUNE 3, 2021 THE TOWN OF FREMONT PLANNING BOARD VOTED TO APPROVE A CONDITIONAL USE PERMIT TO ALLOW THE CONSTRUCTION OF ONE (1) BUILDING ON THE SITE WHICH WILL INCLUDE TWO (2) RESIDENTIAL TOWNHOUSES AND TWO (2) RESIDENTIAL BOARDING AND CARE FACILITIES CONSISTING OF A SOBER LIVING FACILITY OR "SOBER HOUSE".
- ON NOVEMBER 3, 2021 THE TOWN OF FREMONT PLANNING BOARD VOTED TO APPROVE A CONDITIONAL USE PERMIT, PER SECTION 1203.8.F(1)(D) OF THE ZONING ORDINANCE TO ALLOW A MULTI-FAMILY PROJECT IN THE AQUIFER ZONE.

PROJECT PARCEL
TOWN OF FREMONT
TAX MAP 3, BLOCK 37, LOT 3

APPLICANT/OWNER
PPM FREMONT HOLDINGS, LLC
326 MAIN STREET, UNIT 11
FREMONT, NH 03044
BK 5059, PG 1628

TOTAL LOT AREA
233,197 SQ. FT.
5.35 ACRES

APPROVED – FREMONT, NH
PLANNING BOARD

DATE:

APPLICANT / DEVELOPER
PPM FREMONT HOLDING, LLC
326 MAIN STREET
FREMONT, NH 03044
CONTACT: TOM NISBET

OWNER OF RECORD
PPM FREMONT HOLDING, LLC
326 MAIN STREET
FREMONT, NH 03044
CONTACT: TOM NISBET

ELECTRIC
EVERSOURCE
740 N COMMERCIAL ST
PO BOX 330
MANCHESTER, NH 03105-0330
(800) 662-7764

TELEPHONE
CONSOLIDATED COMMUNICATIONS
100 TRI CITY ROAD
SOMERWORTH, NH 03878
ATTN: DAVE KESTNER
(603) 743-1114

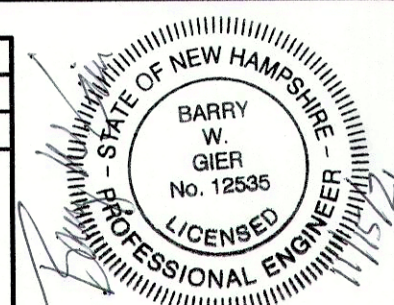
CABLE TV
COMCAST COMMUNICATION CORPORATION
334-B CALEF HIGHWAY
EPPING, NH 03042-2325
(603) 679-5695

CIVIL ENGINEER / SURVEYOR
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: BARRY GIER
EMAIL: BGIER@JONESANDBEACH.COM

WETLAND CONSULTANT
GZA GEOENVIRONMENTAL INC.
5 COMMERCE PARK NORTH, SUITE 201
BEDFORD, NH 03110
(603) 430-9282

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Design: BWG	Draft: DFP	Date: 11/15/2021
Checked: BWG	Scale: AS SHOWN	Project No.: 20631
Drawing Name: 20631-PLAN.dwg		
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REV.	DATE	REVISION	BY
1	11/15/21	REVISED PER PB COMMENTS	BWG
0	10/6/21	ISSUED FOR REVIEW	BWG

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	PPM TOWNHOMES SPAULDING ROAD, FREMONT, NH
Owner of Record:	PPM FREMONT HOLDING, LLC 326 MAIN STREET FREMONT, NH 03044

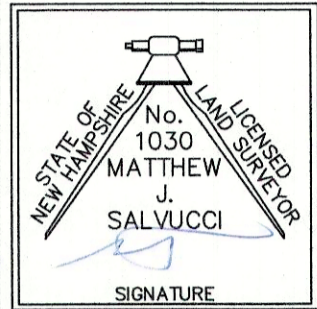
DRAWING No.
CS
SHEET 1 OF 12
JBE PROJECT NO. 20631

PLAN REFERENCES:

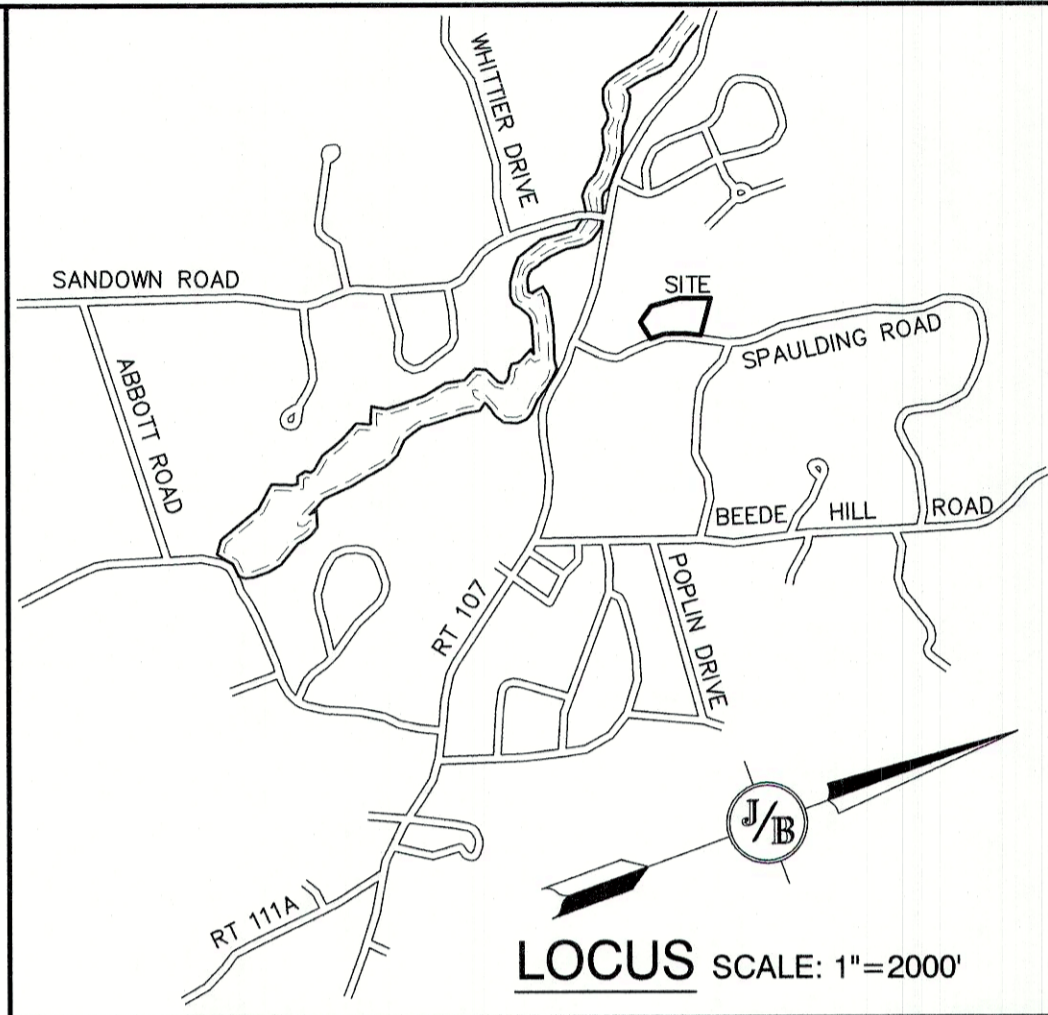
- "HOME PASTURE OF BEEDE HEIRS" FREMONT, N.H. DATED 1965. PREPARED BY GERALD HYDE. R.C.R.D. 833.
- "PROPERTY LINE SURVEY OF THE LAND OF PHILLIP E. McCULLOUGH IN FREMONT, N.H." DATED AUGUST 29, 1977. PREPARED BY DHA. R.C.R.D. 7506.
- "PROPERTY LINE SURVEY OF THE LAND OF FREMONT DEVELOPMENT CORP, SPAULDING & FROST." DATED DECEMBER 6, 1977. PREPARED BY DHA. R.C.R.D. 7612.
- "SUBDIVISION & CONSOLIDATION PLAN PREPARED FOR THE D.B.L. LAND CORPORATION, FREMONT, N.H." DATED SEPTEMBER 17, 1984. PREPARED BY RONALD BURD. R.C.R.D. 13179.
- "ACCESS EASEMENT PLAN PREPARED FOR SPAULDING AND FROST CO, INC. FREMONT, N.H." DATED NOVEMBER 5, 1984. PREPARED BY RONALD BURD. R.C.R.D. 14242.
- "SUBDIVISION AND CONSOLIDATION PLAN FOR D.B.D. LAND CORPORATION AND SPAULDING & FROST CO. FREMONT, NH" DATED SEPTEMBER 23, 1988. PREPARED BY HOLDEN ENGINEERING & SURVEYING. R.C.R.D. 19115.
- "CONSOLIDATION & RESUBDIVISION PLAN OF THE LAND OF SPAULDING & FROST CO, FREMONT, NH" DATED OCTOBER 16, 1989. PREPARED BY HOLDEN ENGINEERING & SURVEYING. R.C.R.D. 20003.
- "COOPERS CORNERS, FREMONT, NEW HAMPSHIRE, LOT LINE ADJUSTMENT AND SUBDIVISION." DATED SEPTEMBER 8, 2004. PREPARED BY ERIC C. MITCHELL & ASSOC. R.C.R.D. 32580.
- "COOPERS CORNERS, FREMONT, N.H." DATED OCTOBER 8, 2004. PREPARED BY ERIC C. MITCHELL & ASSOC. R.C.R.D. 32621.
- "COOPERAGE FOREST, FREMONT, N.H." DATED NOVEMBER 12, 2004. PREPARED BY ERIC C. MITCHELL & ASSOC. R.C.R.D. 32622.

CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14 I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



MATTHEW J. SALVUCCI, LLS 1030 DATE: 11/15/2021
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

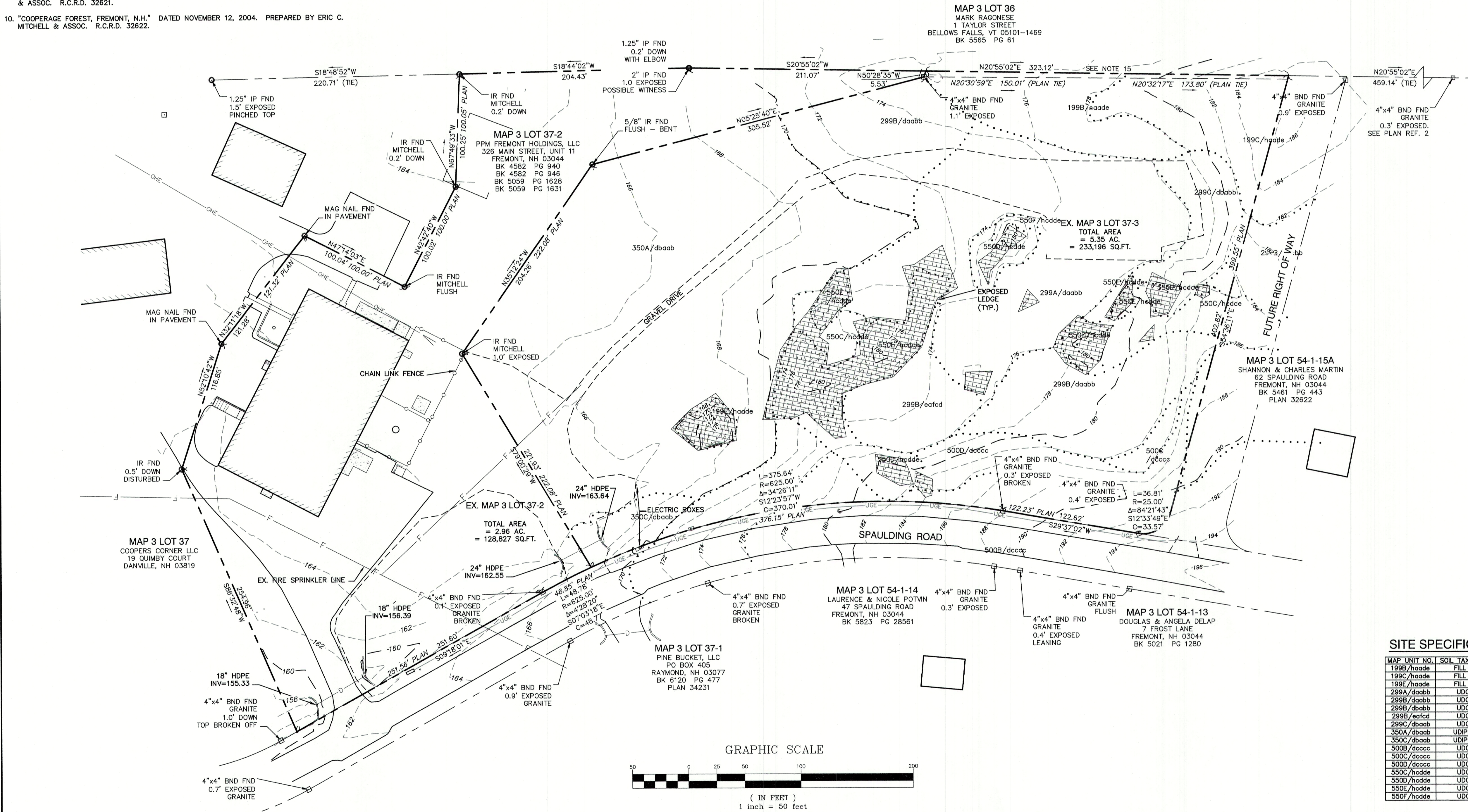


NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF FREMONT TAX MAP 3, LOT 37-3.
- ZONING DISTRICT: FLEXIBLE USE RESIDENTIAL (AQUIFER PROTECTION DISTRICT)
LOT AREA MINIMUM = 2 AC.
LOT FRONTAGE MINIMUM = 200'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 50'
SIDE SETBACK = 30'
REAR SETBACK = 30'
WETLAND SETBACK = 100'
MAX. BUILDING HEIGHT = 35'
MAX. LOT COVERAGE = 30%
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 330150360E, WITH EFFECTIVE DATE OF MAY 17, 2005.
- BASIS OF BEARING: HORIZONTAL - NAD88 NH STATE PLANE.
VERTICAL - NAVD88.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTER OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF FREMONT TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF FREMONT ASSESSOR'S OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- NO WETLANDS WERE OBSERVED ON THE SUBJECT PREMISES.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- ITALICIZED "PLAN" DISTANCES TAKEN FROM PLAN REFERENCE 8.
- THE BOUNDARY LINE BETWEEN THE SUBJECT PROPERTY, AND MAP 3 LOT 36, IS SHOWN AS A STRAIGHT LINE, PER PLAN REFERENCES 1, 2, AND 6. PLAN REFERENCES 4, 5, AND 8 DO NOT FOLLOW THIS SAME LINE. A POSSIBLE GAP IN TITLE MAY EXIST BETWEEN PLANS OF RECORD. ANY USE OF THIS PLAN AND/OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.

SITE SPECIFIC SOIL TABLE:

MAP UNIT NO.	SOIL TAXONOMIC NAME	SLOPE (%)
199B/hcde	FILL MATERIAL	3-8
199C/hcde	FILL MATERIAL	8-15
199E/hcde	FILL MATERIAL	25-50
299A/daab	UDORTHERENTS	0-3
299B/daab	UDORTHERENTS	3-8
299B/dbab	UDORTHERENTS	3-8
299B/eaab	UDORTHERENTS	3-8
299C/daab	UDORTHERENTS	8-15
350A/daab	UDIPSAMMENTS	0-3
350C/daab	UDIPSAMMENTS	8-15
500B/dccc	UDORTHERENTS	3-8
500C/dccc	UDORTHERENTS	8-15
500D/dccc	UDORTHERENTS	15-25
550C/hcde	UDORTHERENTS	8-15
550D/hcde	UDORTHERENTS	15-25
550E/hcde	UDORTHERENTS	25-50
550F/hcde	UDORTHERENTS	>50



Design: BWG	Draft: DFP	Date: 11/15/2021
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1	11/15/21	REVISED PER PB COMMENTS	BWG
0	10/6/21	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

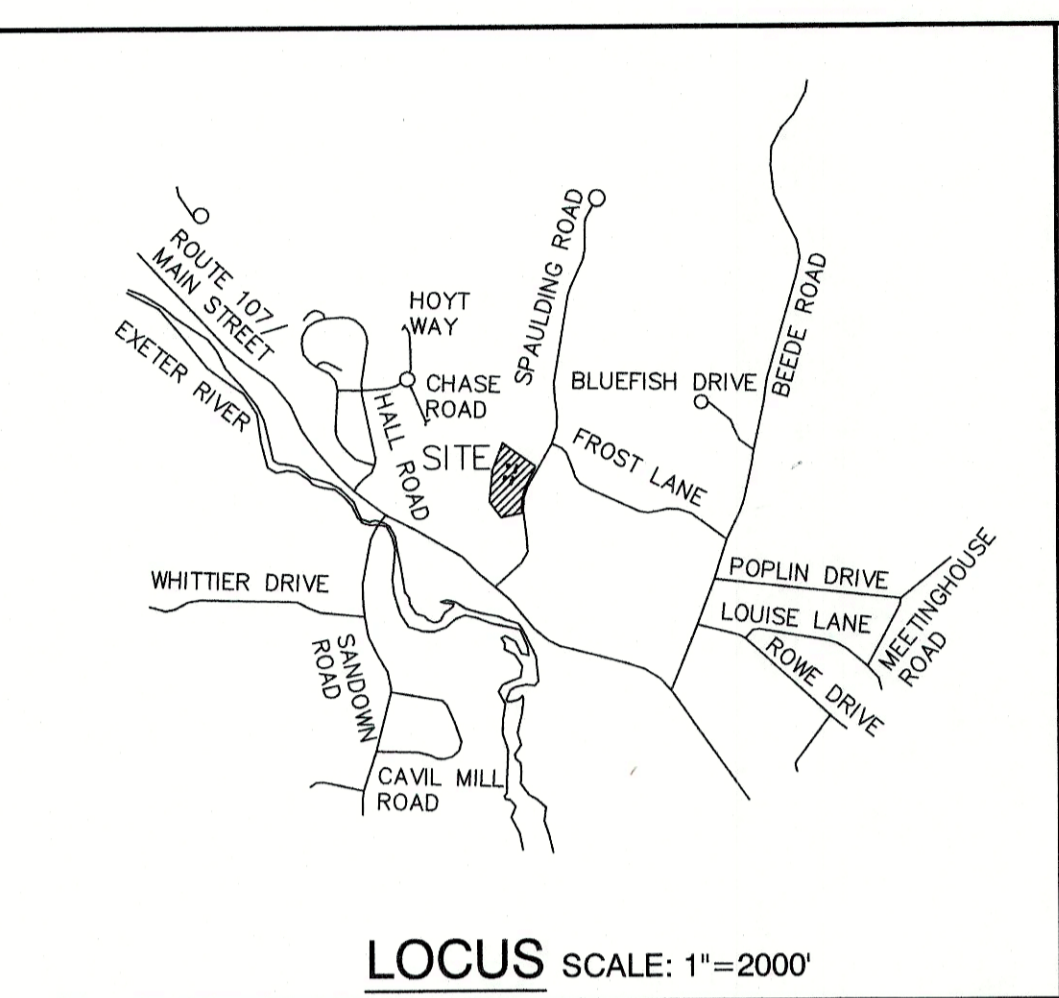
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	PPM TOWNHOMES SPAULDING ROAD, FREMONT, NH
Owner of Record:	PPM FREMONT HOLDING, LLC 326 MAIN STREET FREMONT, NH 03044

DRAWING No.

C1

SHEET 2 OF 12
JBE PROJECT NO. 20631



NOTES:

THE INTENT OF THIS PLAN IS TO DEPICT PROPOSED LOT LINE ADJUSTMENT BETWEEN TOWN OF FREMONT TAX MAP 3, LOT 37-2 AND 37-3

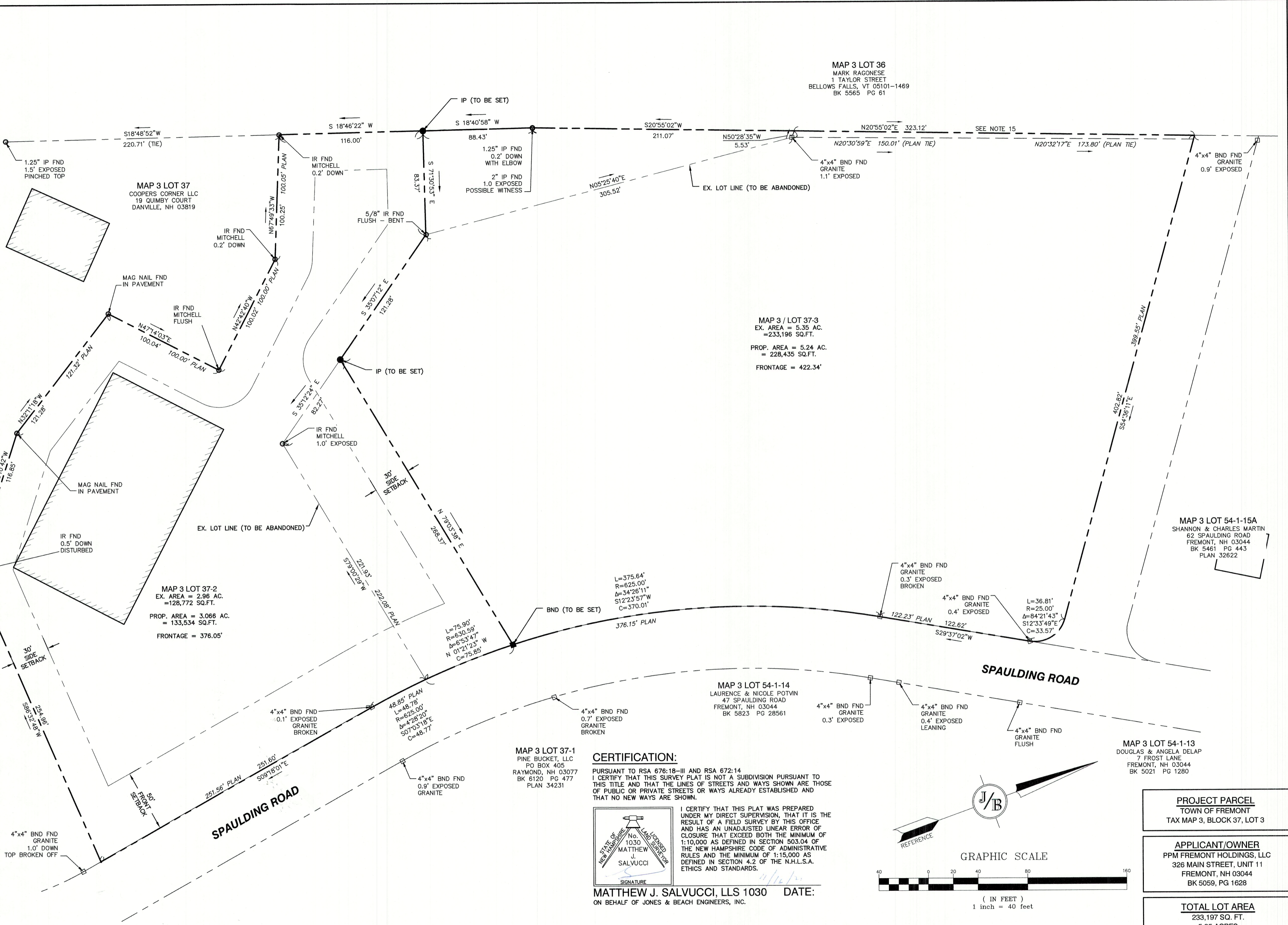
- ZONING DISTRICT: FLEXIBLE USE RESIDENTIAL (AQUIFER PROTECTION OVERLAY)
LOT AREA MINIMUM = 2 ACRE (3 ACRE AQUIFER)
LOT FRONTAGE MINIMUM = 200'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 50'
SIDE SETBACK = 30'
REAR SETBACK = 30'
WETLAND SETBACK = 100'
MAX. BUILDING HEIGHT = 35'
MAX. LOT COVERAGE (AQUIFER) = 15% OR \leq 2,500 S.F. OF IMPERVIOUS
MAX. LOT COVERAGE (RESIDENTIAL) = 30%
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
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- BASIS OF BEARING: HORIZONTAL - NAD88 NH STATE PLANE.
VERTICAL - NAVD88.
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- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED BY THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.

PLAN REFERENCES:

- "HOME PASTURE OF BEEDE HEIRS" FREMONT, N.H. DATED 1965. PREPARED BY GERALD HYDE. R.C.R.D. 833.
- "PROPERTY LINE SURVEY OF THE LAND OF PHILLIP E. McCULLOUGH IN FREMONT, N.H." DATED AUGUST 29, 1977. PREPARED BY DHA. R.C.R.D. 7506.
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- "COOPERS CORNERS, FREMONT, N.H." DATED OCTOBER 8, 2004. PREPARED BY ERIC C. MITCHELL & ASSOC. R.C.R.D. 32621.
- "COOPERAGE FOREST, FREMONT, N.H." DATED NOVEMBER 12, 2004. PREPARED BY ERIC C. MITCHELL & ASSOC. R.C.R.D. 32622.

Design: BWG | Draft: DFP | Date: 11/15/2021
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Drawing Name: 20631-CONCEPT3.dwg

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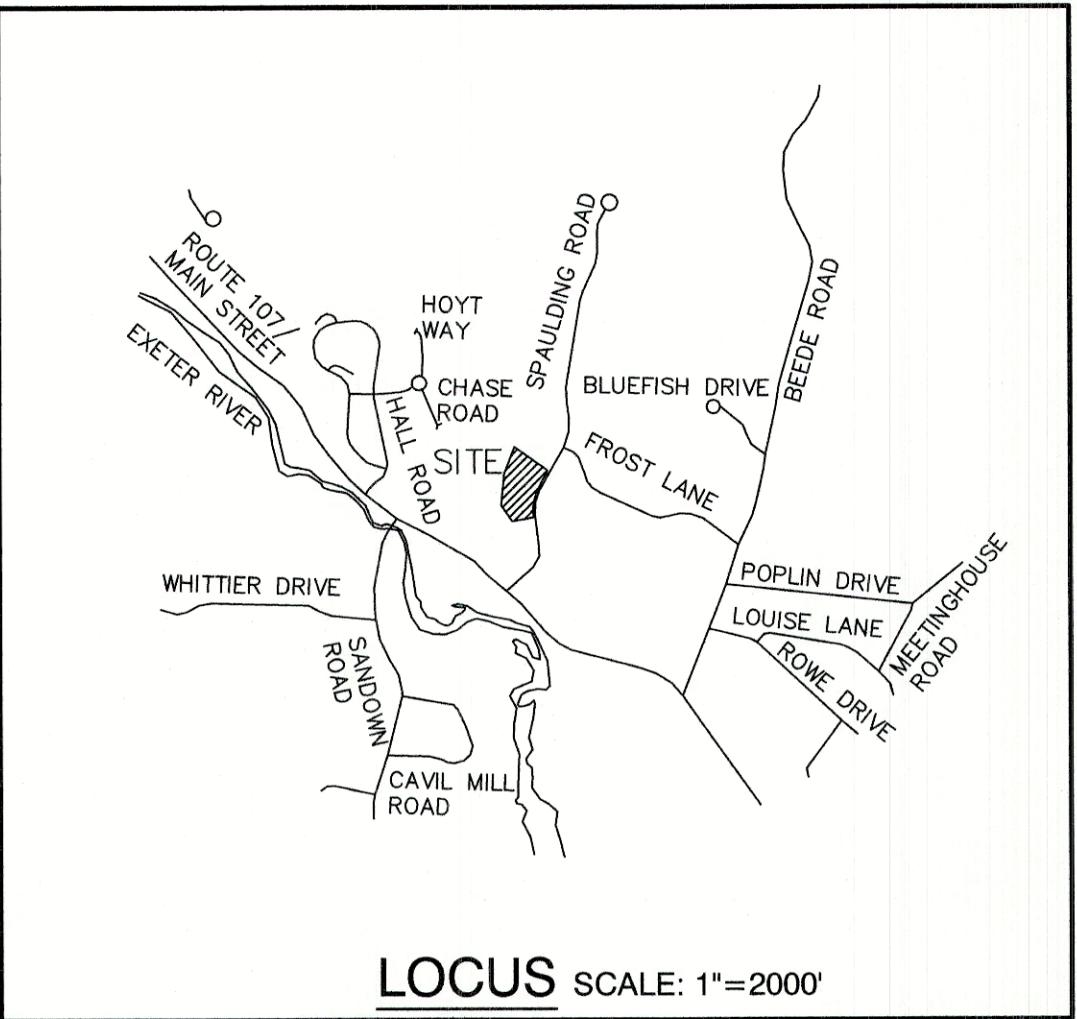
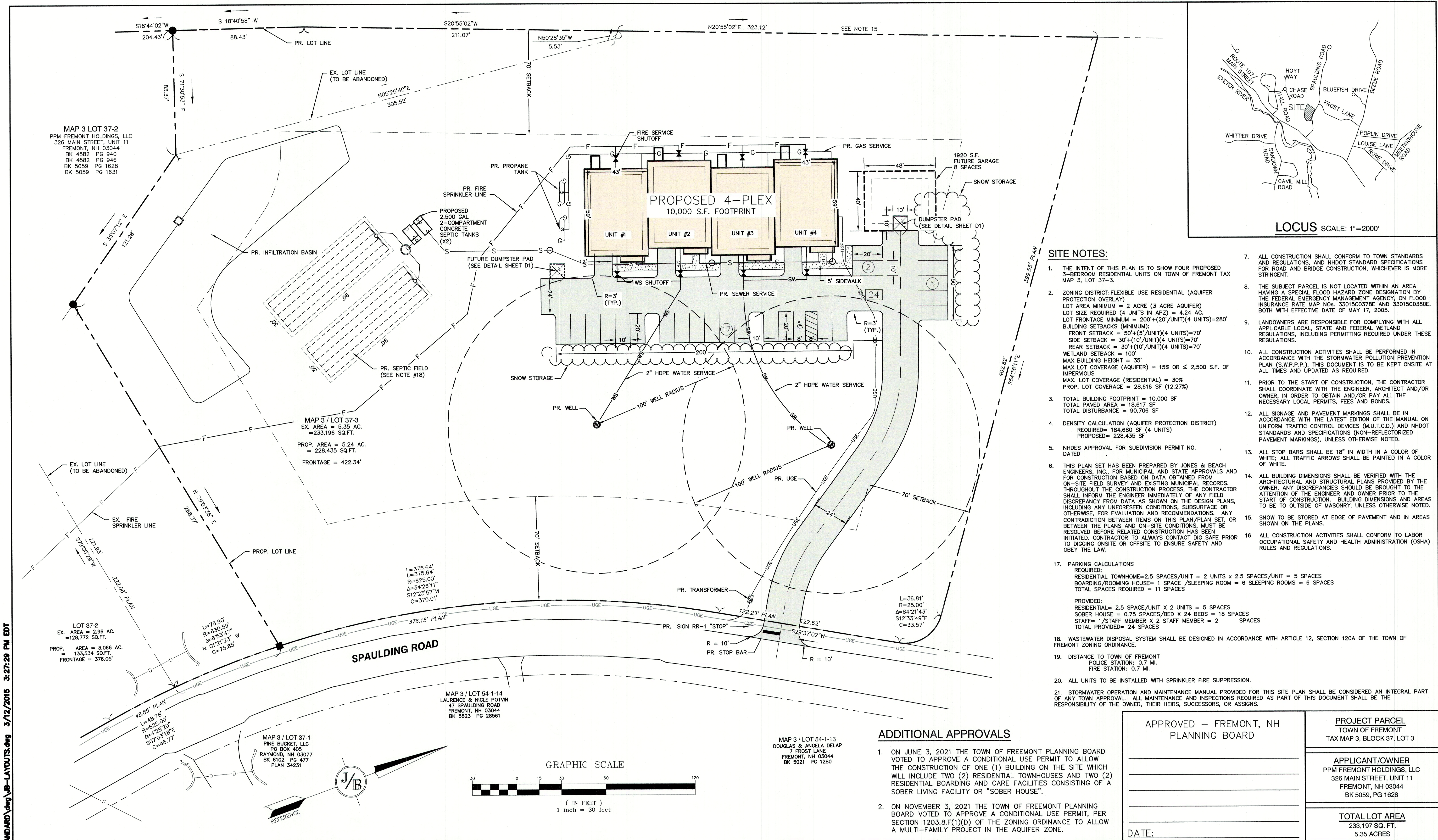
Plan Name:	LOT LINE ADJUSTMENT
Project:	PPM TOWNHOMES SPAULDING ROAD, FREMONT, NH
Owner of Record:	PPM FREMONT HOLDING, LLC 326 MAIN STREET FREMONT, NH 03044

DRAWING No.

A1

SHEET 3 OF 12
JBE PROJECT NO. 20631

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- SITE NOTES:**
- THE INTENT OF THIS PLAN IS TO SHOW FOUR PROPOSED 3-BEDROOM RESIDENTIAL UNITS ON TOWN OF FREMONT TAX MAP 3, LOT 37-3.
 - ZONING DISTRICT: FLEXIBLE USE RESIDENTIAL (AQUIFER PROTECTION OVERLAY)
LOT AREA MINIMUM = 2 ACRE (3 ACRE AQUIFER)
LOT SIZE REQUIRED (4 UNITS IN APZ) = 4.24 AC.
LOT FRONTAGE MINIMUM = 200' + (20' / UNIT) (4 UNITS) = 280'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 50' + (5' / UNIT) (4 UNITS) = 70'
SIDE SETBACK = 30' + (10' / UNIT) (4 UNITS) = 70'
REAR SETBACK = 30' + (10' / UNIT) (4 UNITS) = 70'
WETLAND SETBACK = 100'
MAX. BUILDING HEIGHT = 35'
MAX. LOT COVERAGE (AQUIFER) = 15% OR ≤ 2,500 S.F. OF IMPERVIOUS
MAX. LOT COVERAGE (RESIDENTIAL) = 30%
PROP. LOT COVERAGE = 28,616 SF (12.27%)
 - TOTAL BUILDING FOOTPRINT = 10,000 SF
TOTAL PAVED AREA = 18,617 SF
TOTAL DISTURBANCE = 90,708 SF
 - DENSITY CALCULATION (AQUIFER PROTECTION DISTRICT)
REQUIRED = 184,680 SF (4 UNITS)
PROPOSED = 228,435 SF
 - NHDES APPROVAL FOR SUBDIVISION PERMIT NO. DATED
 - THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
 - PARKING CALCULATIONS
REQUIRED:
RESIDENTIAL TOWNHOME = 2.5 SPACES / UNIT = 2 UNITS x 2.5 SPACES / UNIT = 5 SPACES
BOARDING / ROOMING HOUSE = 1 SPACE / SLEEPING ROOM = 6 SLEEPING ROOMS = 6 SPACES
TOTAL SPACES REQUIRED = 11 SPACES
PROVIDED:
RESIDENTIAL = 2.5 SPACE / UNIT x 2 UNITS = 5 SPACES
SOBER HOUSE = 0.75 SPACES / BED x 24 BEDS = 18 SPACES
STAFF = 1 / STAFF MEMBER x 2 STAFF MEMBER = 2 SPACES
TOTAL PROVIDED = 24 SPACES
 - WASTEWATER DISPOSAL SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH ARTICLE 12, SECTION 120A OF THE TOWN OF FREMONT ZONING ORDINANCE.
 - DISTANCE TO TOWN OF FREMONT
POLICE STATION: 0.7 MI.
FIRE STATION: 0.7 MI.
 - ALL UNITS TO BE INSTALLED WITH SPRINKLER FIRE SUPPRESSION.
 - STORMWATER OPERATION AND MAINTENANCE MANUAL PROVIDED FOR THIS SITE PLAN SHALL BE CONSIDERED AN INTEGRAL PART OF ANY TOWN APPROVAL. ALL MAINTENANCE AND INSPECTIONS REQUIRED AS PART OF THIS DOCUMENT SHALL BE THE RESPONSIBILITY OF THE OWNER, THEIR HEIRS, SUCCESSORS, OR ASSIGNS.
 - ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
 - THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NOS. 33015C0378E AND 33015C0380E, BOTH WITH EFFECTIVE DATE OF MAY 17, 2005.
 - LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
 - ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
 - ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
 - ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
 - ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
 - SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS.
 - ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.

ADDITIONAL APPROVALS

- ON JUNE 3, 2021 THE TOWN OF FREMONT PLANNING BOARD VOTED TO APPROVE A CONDITIONAL USE PERMIT TO ALLOW THE CONSTRUCTION OF ONE (1) BUILDING ON THE SITE WHICH WILL INCLUDE TWO (2) RESIDENTIAL TOWNHOUSES AND TWO (2) RESIDENTIAL BOARDING AND CARE FACILITIES CONSISTING OF A SOBER LIVING FACILITY OR "SOBER HOUSE".
- ON NOVEMBER 3, 2021 THE TOWN OF FREMONT PLANNING BOARD VOTED TO APPROVE A CONDITIONAL USE PERMIT, PER SECTION 1203.8.F(1)(D) OF THE ZONING ORDINANCE TO ALLOW A MULTI-FAMILY PROJECT IN THE AQUIFER ZONE.

APPROVED — FREMONT, NH
PLANNING BOARD

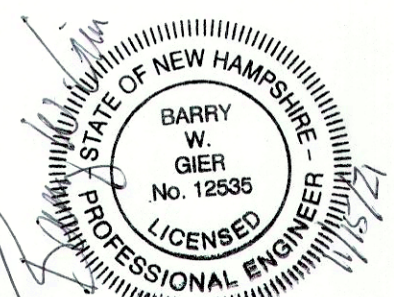
PROJECT PARCEL
TOWN OF FREMONT
TAX MAP 3, BLOCK 37, LOT 3

APPLICANT/OWNER
PPM FREMONT HOLDINGS, LLC
326 MAIN STREET, UNIT 11
FREMONT, NH 03044
BK 5059, PG 1628

TOTAL LOT AREA
233,197 SQ. FT.
5.35 ACRES

DATE:

Design: BWG	Draft: DFP	Date: 11/15/2021
Checked: BWG	Scale: AS SHOWN	Project No.: 20631
Drawing Name: 20631-PLAN.dwg		
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REV.	DATE	REVISION	BY
1	11/15/21	REVISED PER PB COMMENTS	BWG
0	10/6/21	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SITE PLAN
Project:	PPM TOWNHOMES SPAULDING ROAD, FREMONT, NH
Owner of Record:	PPM FREMONT HOLDING, LLC 326 MAIN STREET FREMONT, NH 03044

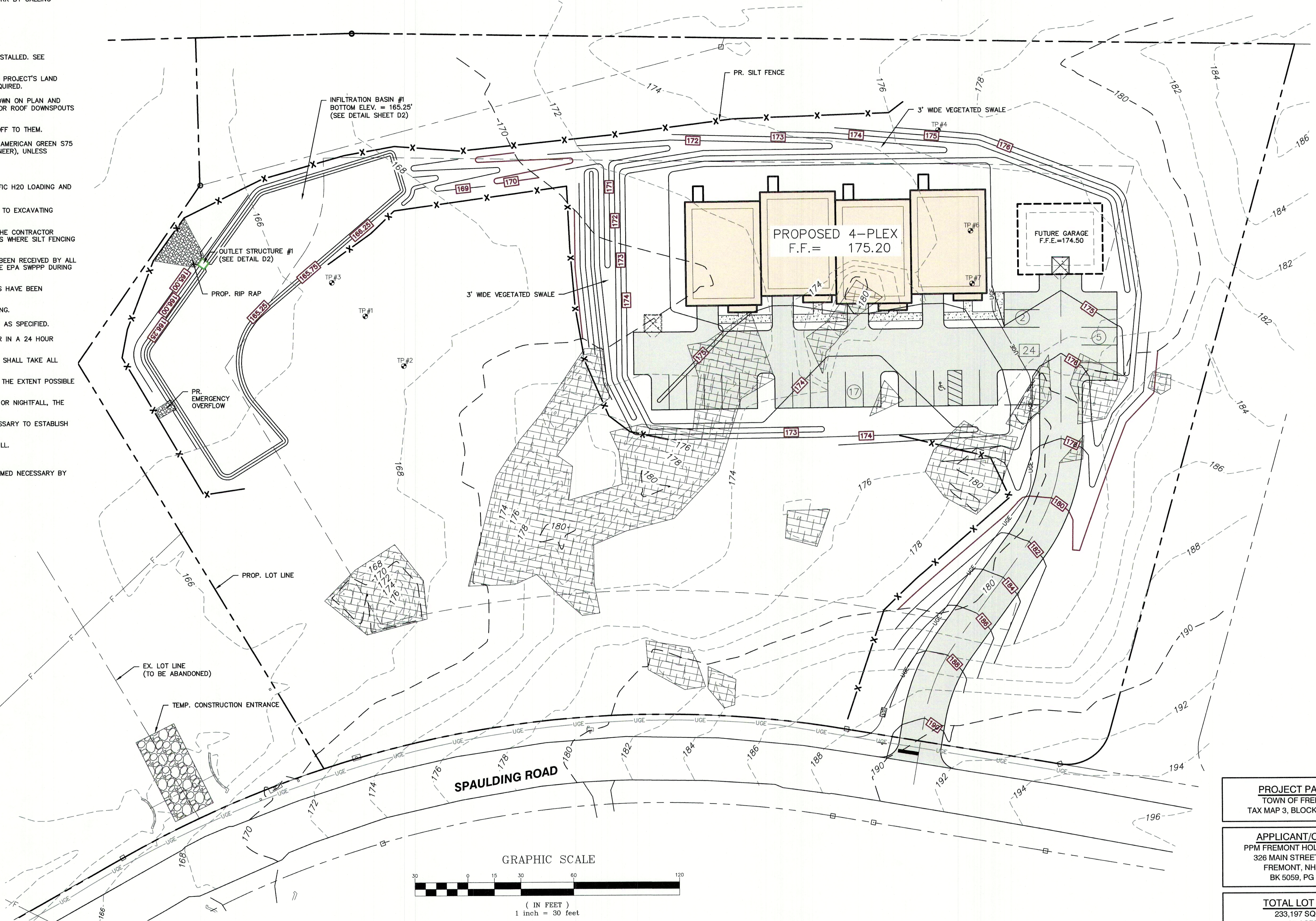
DRAWING No.

C2

SHEET 4 OF 12
JBE PROJECT NO. 20631

GRADING AND DRAINAGE NOTES:

1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
5. BASIS OF BEARING: HORIZONTAL - NAD88 NH STATE PLANE.
VERTICAL - NAVD88.
6. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
7. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
8. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
9. ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
10. ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
11. ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
12. ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED.
13. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
14. IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO +/-1/2" PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
15. IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
16. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
17. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
18. ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
19. SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
20. MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
21. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
22. CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
23. IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
24. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
25. SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
26. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
27. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
28. SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.



PROJECT PARCEL
TOWN OF FREMONT
TAX MAP 3, BLOCK 37, LOT 3

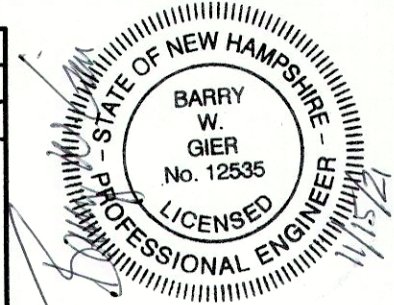
APPLICANT/OWNER
PPM FREMONT HOLDINGS, LLC
326 MAIN STREET, UNIT 11
FREMONT, NH 03044
BK 5059, PG 1628

TOTAL LOT AREA
233,197 SQ. FT.
5.35 ACRES

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Design: BWG Draft: DFP Date: 11/15/2021
Checked: BWG Scale: AS SHOWN Project No.: 20631
Drawing Name: 20631-PLAN.dwg

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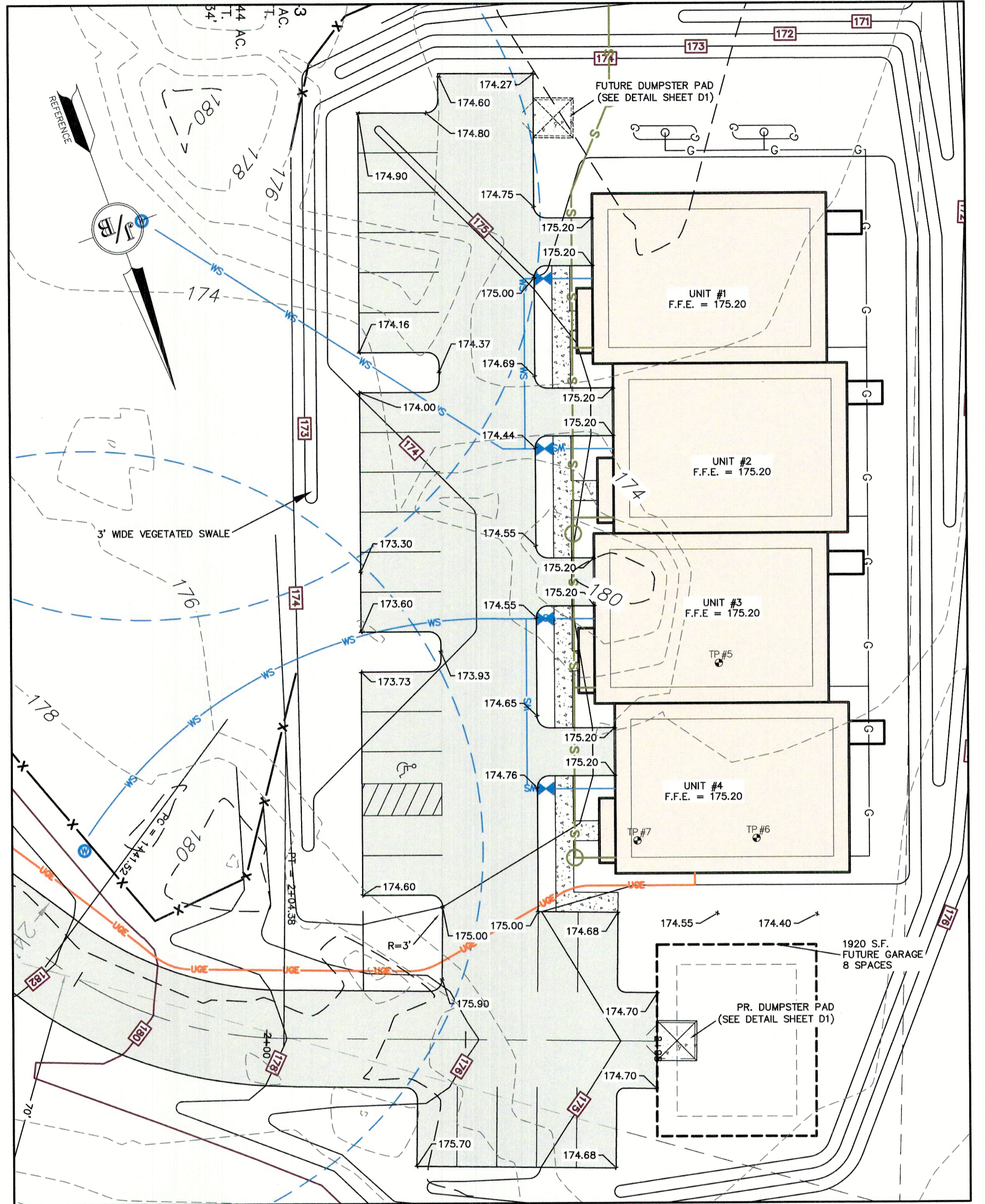
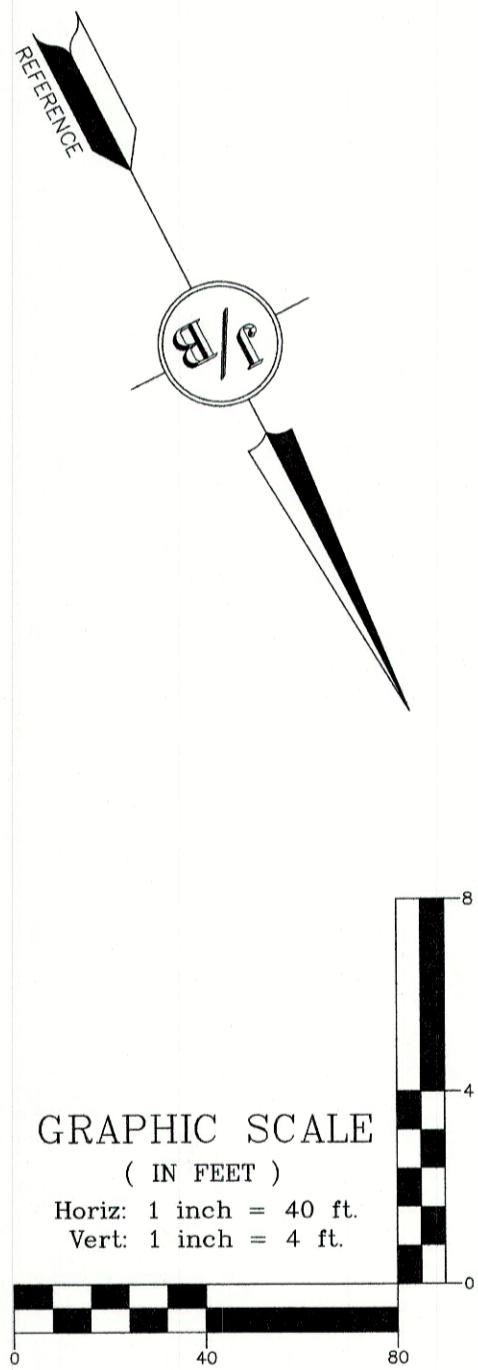
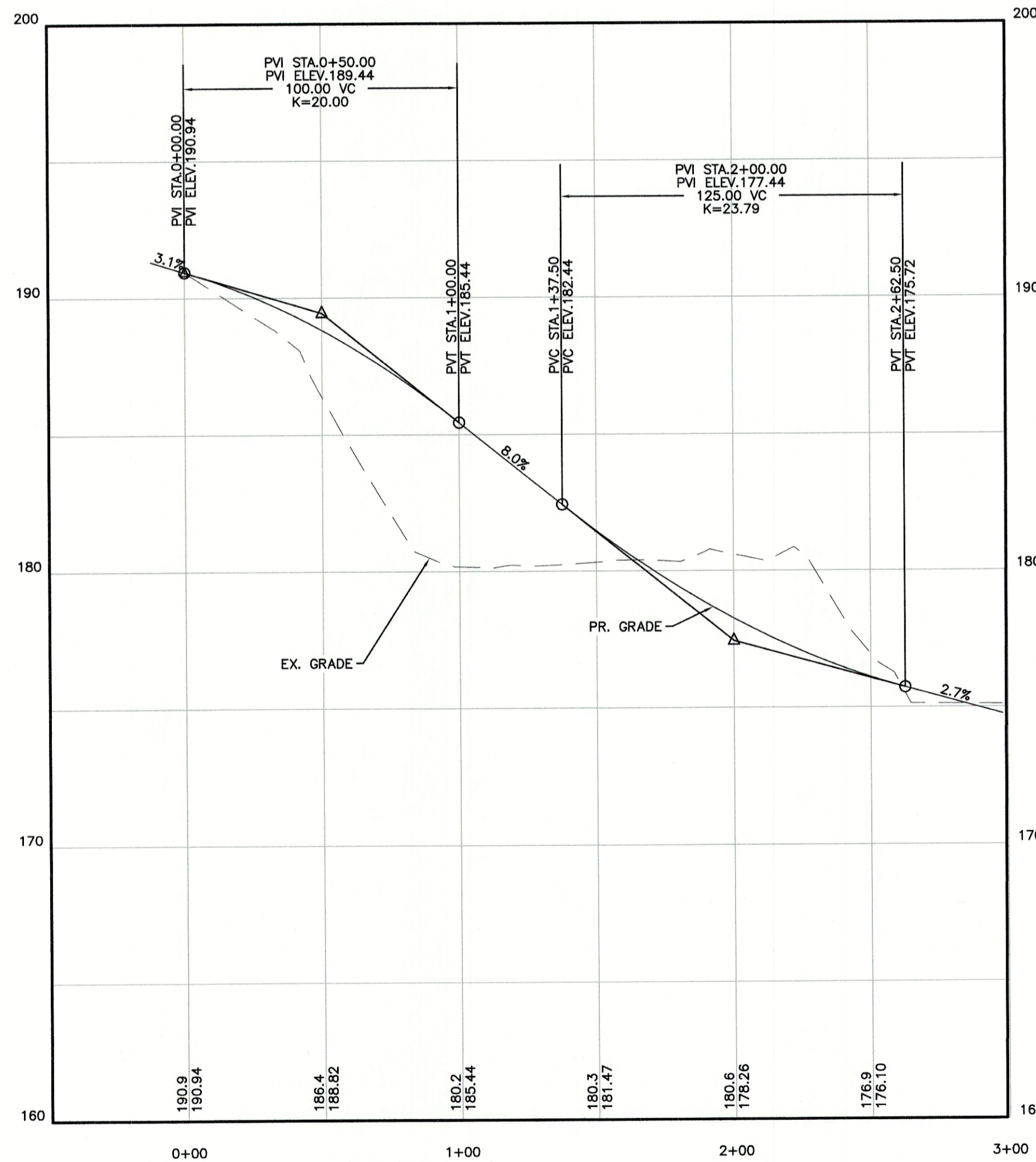
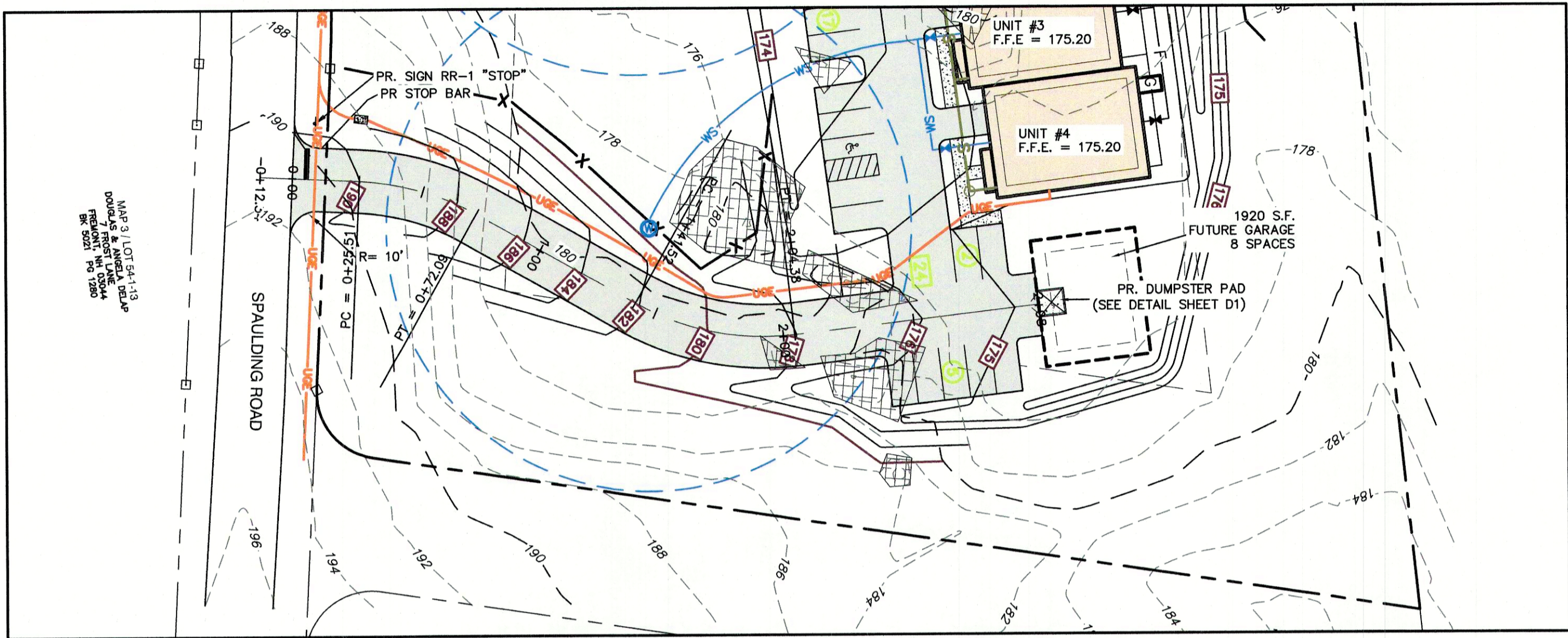
REV.	DATE	REVISION	BY
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0	10/6/21	ISSUED FOR REVIEW	BWG

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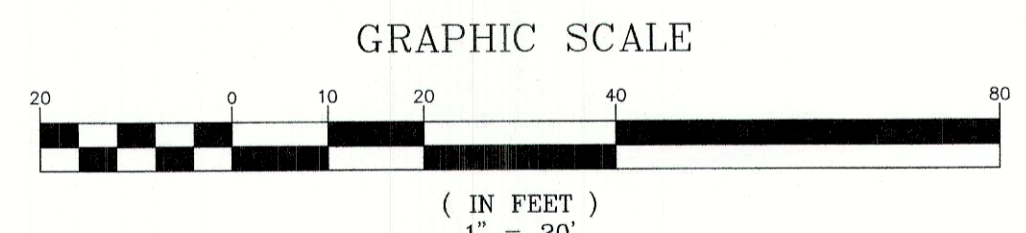
Plan Name: GRADING AND DRAINAGE PLAN
Project: PPM TOWNHOMES
SPAULDING ROAD, FREMONT, NH
Owner of Record: PPM FREMONT HOLDING, LLC
326 MAIN STREET FREMONT, NH 03044

DRAWING No.
C3
SHEET 5 OF 12
JBE PROJECT NO. 20631

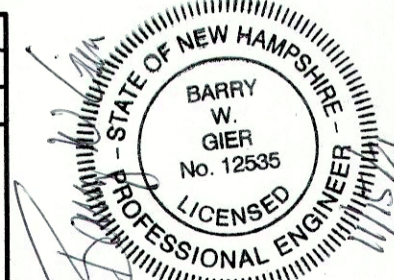
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GRADING PLAN
SCALE: 1" = 20'



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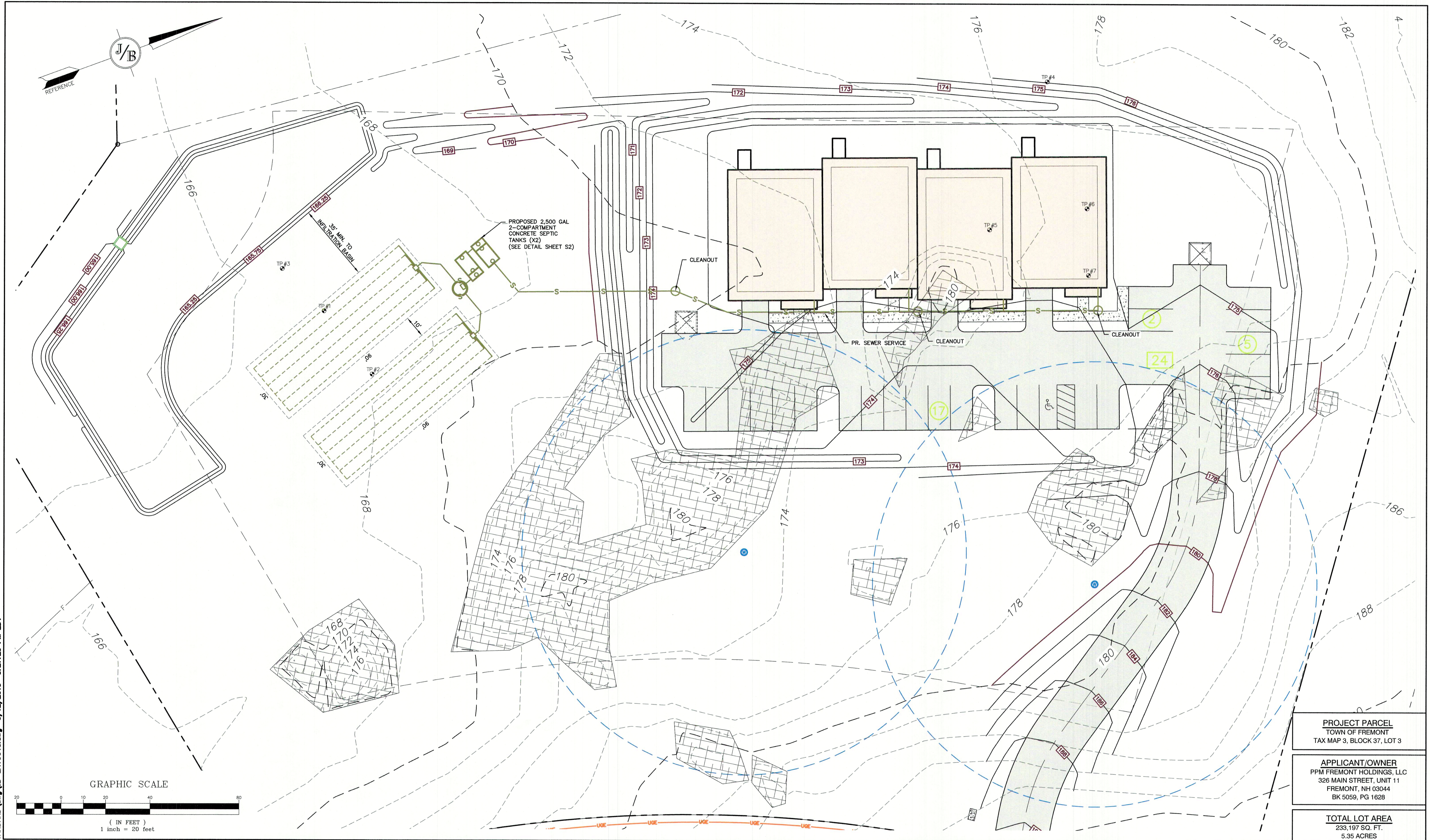
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603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN AND PROFILE**
Project: **PPM TOWNHOMES SPAULDING ROAD, FREMONT, NH**
Owner of Record: **PPM FREMONT HOLDING, LLC 326 MAIN STREET FREMONT, NH 03044**

DRAWING No. **P1**
SHEET 6 OF 12
JBE PROJECT NO. 20631

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GRAPHIC SCALE

(IN FEET)
1 inch = 20 feet

PROJECT PARCEL
TOWN OF FREMONT
TAX MAP 3, BLOCK 37, LOT 3

APPLICANT/OWNER
PPM FREMONT HOLDINGS, LLC
326 MAIN STREET, UNIT 11
FREMONT, NH 03044
BK 5059, PG 1628

TOTAL LOT AREA
233,197 SQ. FT.
5.35 ACRES

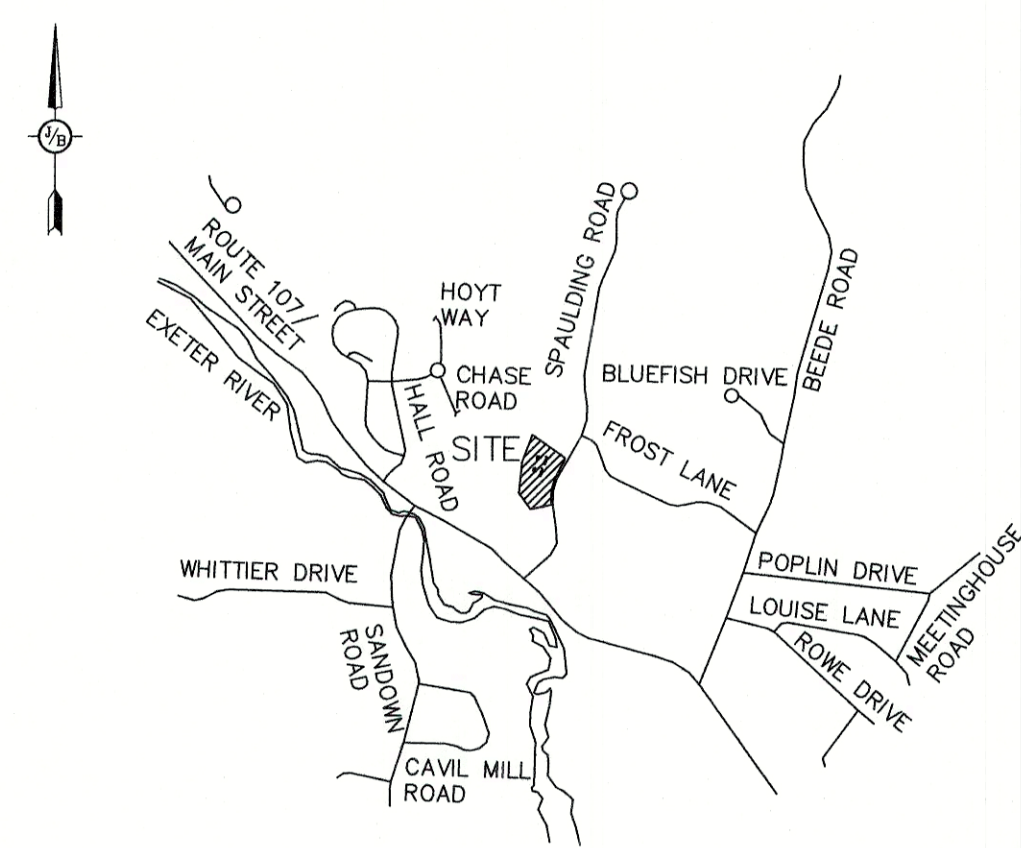
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Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EFFLUENT DISPOSAL DESIGN**
NEW CONSTRUCTION
Project: **PPM TOWNHOMES**
SPAULDING ROAD, FREMONT, NH
Owner of Record: **PPM FREMONT HOLDING, LLC**
326 MAIN STREET FREMONT, NH 03044

DRAWING No.
S1
SHEET 7 OF 12
JBE PROJECT NO. 20631



LOCUS SCALE: 1"=2000'

STONE & PIPE DESIGN CALCULATIONS

2. 3-BEDROOM RESIDENTIAL HOMES = 900 GALLONS PER DAY
 2. 12-BED RESIDENTIAL INSTITUTIONS W/ 1 TOTAL EMPLOYEES = 1,620 + 1,620 + 20 = 3,260 GPD
4,160 GPD @ 2 MIN./INCH = 5,200 S.F. REQUIRED PER ENV-WQ 1016-1.
5,400 S.F. PROVIDED.

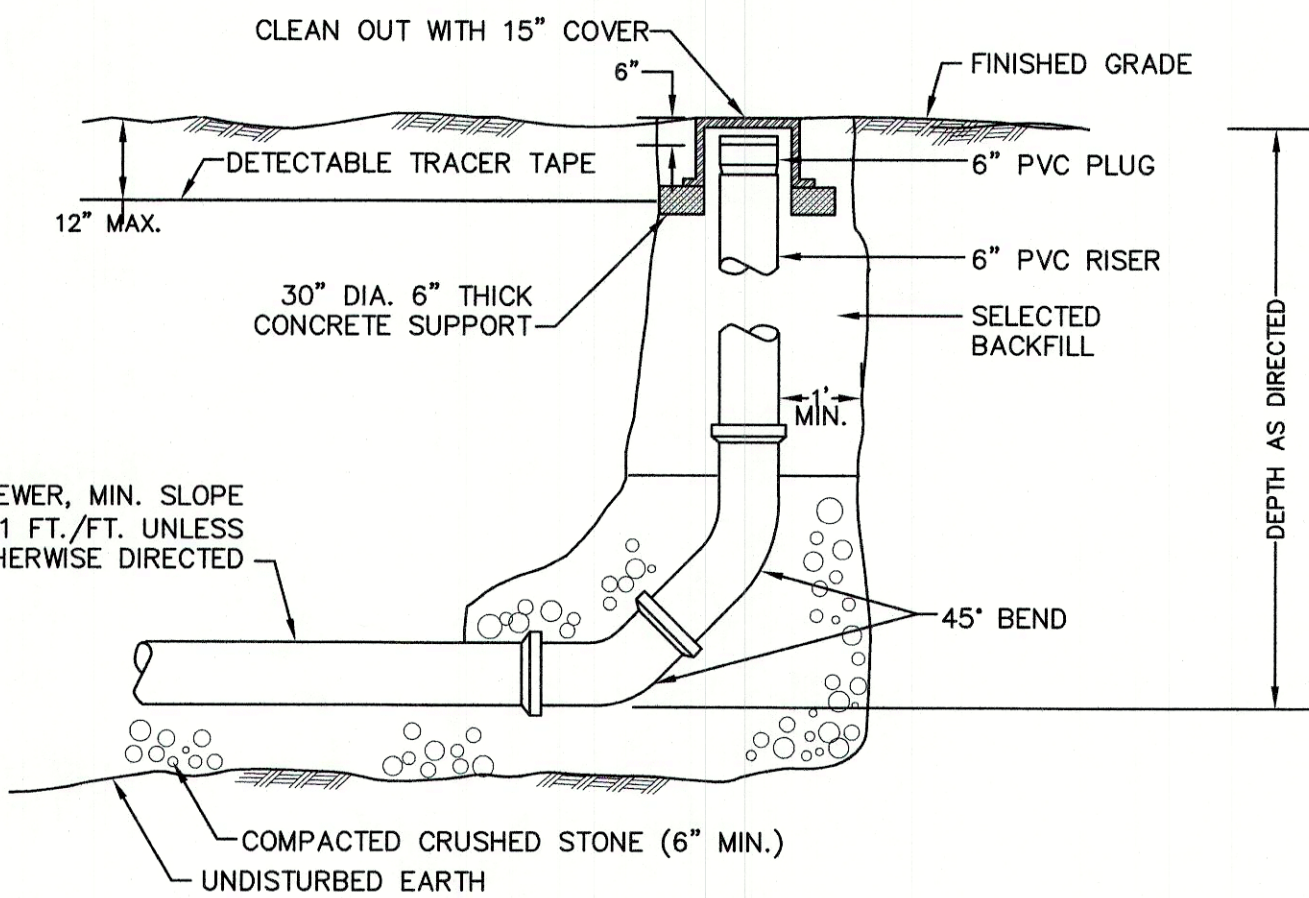
BED DIMENSIONS 90' x 30' , X2 LEACHFIELDS

GENERAL NOTES

THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (E.D.S.) SHALL BE CONSTRUCTED AT ELEVATION 171.33. THIS IS APPROXIMATELY 1.33 FEET ABOVE ORIGINAL GROUND ON THE HIGH CONTOUR (170.00) OF THE DESIGNED E.D.S. (ENV-WQ-1003.13(aa))

- CONTRACTOR TO VERIFY ALL ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY DESIGNER OF ANY ABNORMAL CONDITIONS (HARDPAN OR SATURATED SOILS, LEDGE, ETC.) FOUND WHEN EXCAVATING PRIOR TO INSTALLATION OF THE SYSTEM.
- PER ENV-WQ 1016.03, CONTRACTOR IS TO PROTECT THE NATURAL ABSORPTION QUALITIES OF THE SOIL. DO NOT COMPACT OR DRIVE OVER THE AREA WITH EQUIPMENT AND PROTECT OPEN EXCAVATION TO PREVENT THE ENTRANCE OF SILT AND DEBRIS.
- FILL TO BE MEDIUM TO COARSE-TEXTURED SAND (0.5mm-2.0mm).
- REMOVE TOPSOIL BEFORE PLACING FILL.
- 4 INCH THICK LOAM & SEED AROUND PERIMETER OF FILL.
- CONTRACTOR TO INSTALL A VENT WHEN PROVIDING MORE THAN 18" OF COVER.
- DRAIN SYSTEM TO SHED RAINWATER, SLOPE SYSTEM AWAY FROM HOUSE.
- SYSTEM SHALL BE INSTALLED IN SAME LOCATION IN CASE OF FAILURE.
- JOINTS ARE TO BE BELLED PVC OR STANDARD SLIP COULARS.
- PER ENV-WQ 1010.11, THE FIRST COMPARTMENT IN MULTI-COMPARTMENT SEPTIC TANKS MUST BE EQUAL AT LEAST 2/3 OF THE REQUIRED VOLUME.
- PER ENV-WQ 1010.10, EXCEPTING LEDGE TANKS, THE LIQUID DEPTH OF THE SEPTIC TANK IS TO BE AT LEAST 40".
- THE OUTLET BAFFLE SHALL BE A VENTED TEE WHICH SHALL EXTEND TO A DISTANCE BELOW THE SURFACE EQUAL TO 40% OF THE LIQUID DEPTH AND SHALL EXTEND ABOVE THE LIQUID LINE TO NOT LESS THAN ONE INCH FROM THE TOP OF THE TANK.
- ALL CONNECTIONS BETWEEN A SEPTIC TANK AND THE PIPES LEADING TO AND EXITING FROM THE SEPTIC TANK SHALL BE SEALED WITH A WATERTIGHT, FLEXIBLE JOINT CONNECTOR THAT: (1) WILL ACCOMMODATE NORMAL MOVEMENT OF THE SEPTIC TANK WITHOUT LEAKING OR BREAKING; AND (2) HAS BEEN CERTIFIED BY ITS MANUFACTURER OR DISTRIBUTOR AS MEETING OR EXCEEDING THE APPLICABLE STANDARD IN ASTM C 1644-06, SECTION 7.
- CONTRACTOR TO PROVIDE RISERS FOR TANKS WITH MORE THAN 12" OF COVER.
- IF GRASS GRINDERS ARE DESIRED, SEPTIC TANK SHALL BE 50% LARGER. IF A BASEMENT EJECTOR PUMP IS DESIRED, SEPTIC TANK SHALL BE INCREASED BY 250 GALLONS.
- APPROVAL FOR CONSTRUCTION IS VALID FOR 4 YEARS FROM DATE OF ISSUE, EXCEPT APPROVAL IS ONLY VALID FOR 90 DAYS FOR FAILED SYSTEM REPLACEMENTS.
- TOWN OF FREMONT REQUIRES BED BOTTOM INSPECTION.
- PVC PIPING TO BE SUPPLIED BY: ELIMINATOR SYSTEMS INC. (803) 868-2242) OR EQUAL.
- SEPTIC TANK & D-BOX TO BE SUPPLIED BY: SHEA CONCRETE (800-696-7432) OR EQUAL.
- FREMONT COUNTY SOIL CONSERVATION SERVICE SOIL TYPE:
- ANY CHANGES TO SEPTIC TANK, BUILDING OR WELL LOCATION/ORIENTATION WILL REQUIRE AN AS-BUILT PLAN TO BE PROVIDED BY THE DESIGNER PRIOR TO NHDES FINAL INSPECTION.
- PER ENV-WQ 1004.10, SYSTEMS OVER 2,500 GPD ARE TO BE INSPECTED BY DESIGNER.
- PER ENV-WQ 1003.13(a)(3) THERE ARE NO KNOWN BURIAL SITES OR CEMETERIES ON THE LOT WITHIN 100' OF ANY COMPONENT OF THE ISDS.
- 50' SETBACK FROM POORLY DRAINED SOILS.
- DISTANCE FROM SEWER PIPE TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF SDR26 OR EQUIVALENT IS USED IN ACCORDANCE WITH ENV-WQ 1008.04(c)(1).
- DISTANCE FROM SEPTIC TANK TO SURFACE WATER, OPEN DRAINAGE, VERY POORLY DRAINED SOIL, AN OPEN LOOP GEOTHERMAL WELL, OR A PRIVATE ON-SITE WELL SHALL BE 75 FT. THIS MAY BE REDUCED TO 50 FT IF THE SEPTIC TANK IS EITHER MADE FROM PLASTIC OR COATED WITH A SEALANT TO PREVENT INFILTRATION AND EXFILTRATION IN ACCORDANCE WITH ENV-WQ 1008.04(c)(2).
- WASTEWATER DISPOSAL SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH ARTICLE 12, SECTION 120A OF THE TOWN OF FREMONT ZONING ORDINANCE.


- INSTALLATION SHALL COMPLY WITH "We 602.05" WELL LOCATION RULES
- IF THE WELL IS LOCATED LESS THAN 50' FROM THE STATE HIGHWAY RIGHT-OF-WAY AND OR LESS THAN 75' FROM THE PROPERTY LINE WITH DESIGN FLOWS FOR STRUCTURES UP TO 5 BEDROOMS. SPECIAL METHODS OF CONSTRUCTION SHALL INCLUDE BUT NOT BE LIMITED TO:
 - INSTALL NO LESS THAN 40' OF CASING INTO COMPETENT BEDROCK WHERE BEDROCK IS LESS THAN 20' FROM GROUND SURFACE
 - GROUTING THE CASING



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REV.	DATE	REVISION	BY


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Jones & Beach Engineers, Inc.

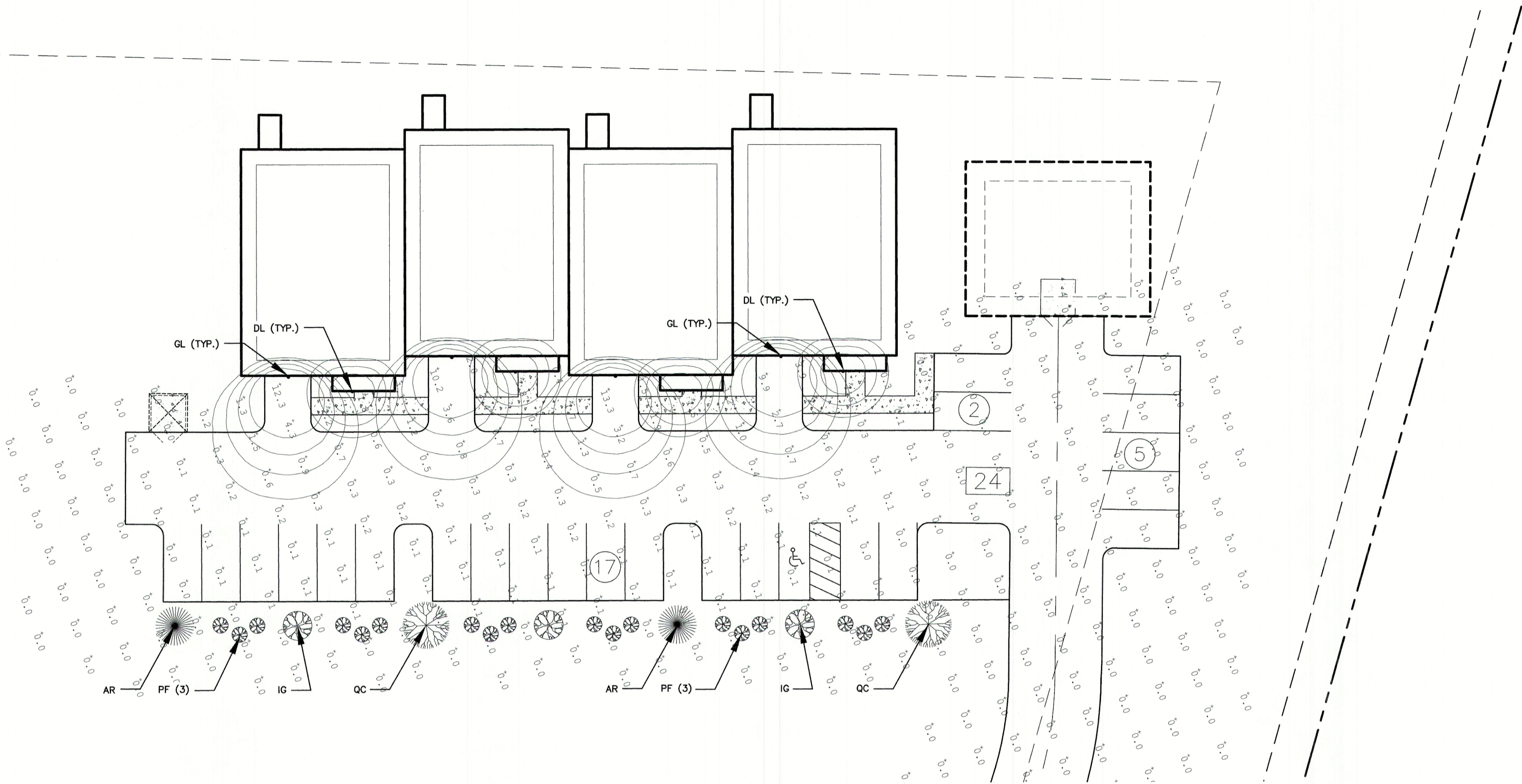
 85 Portsmouth Ave. *Civil Engineering Services* 603-772-4746
 PO Box 219 FAX: 603-772-0227
 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EFFLUENT DISPOSAL DESIGN NEW CONSTRUCTION
Project:	PPM TOWNHOMES SPAULDING ROAD, FREMONT, NH
Owner of Record:	PPM FREMONT HOLDING, LLC 326 MAIN STREET FREMONT, NH 03044

DRAWING No.

S2

SHEET 8 OF
JBE PROJECT NO.



LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING FOR CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
9. ALL WORK AND PLANTS SHALL BE DONE, INSTALLED AND DETAILED IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM.
12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. BY THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAS DIED, LOST NATURAL BRANCHES DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT IS, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION, EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS SPECIFIED.
15. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
16. THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC. FROM ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE. GRASS SEED OR PINE BARK MULCH SHALL BE APPLIED AS DEPICTED ON PLANS.
17. FINISHED GRADES IN LANDSCAPED ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" HIGHER THAN THE TOP OF THE SURROUNDING CURB.
18. ALL LANDSCAPING SHALL MEET THE TOWN STANDARDS AND REGULATIONS.
19. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE DRIPLINE OF THE TREE. THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
20. ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
21. ALL LANDSCAPED AREAS SHALL HAVE SELECT MATERIALS REMOVED TO A DEPTH OF AT LEAST 9" BELOW FINISH GRADE. THE RESULTING VOID IS TO BE FILLED WITH A MINIMUM OF 9" HIGH-QUALITY SCREENED LOAM AMENDED WITH 3" OF AGED ORGANIC COMPOST.
22. THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL/SITE DRAWINGS FOR OTHER SITE CONSTRUCTION INFORMATION.
23. IRRIGATION PIPING SYSTEM SHALL BE REVIEWED AND APPROVED BY OWNER AND ENGINEER PRIOR TO INSTALLATION.
24. ADDITIONAL PLANTING AND SEEDING MAY BE REQUIRED AS PART OF THE ON-SITE WETLANDS RESTORATION AND MITIGATION PACKAGE PREPARED BY WEST ENVIRONMENTAL. CONTRACTOR SHALL COORDINATE WITH PROJECT ENGINEER AND WETLAND CONSULTANT TO ENSURE THAT THESE ADDITIONAL REQUIREMENTS ARE PROPERLY ADDRESSED.

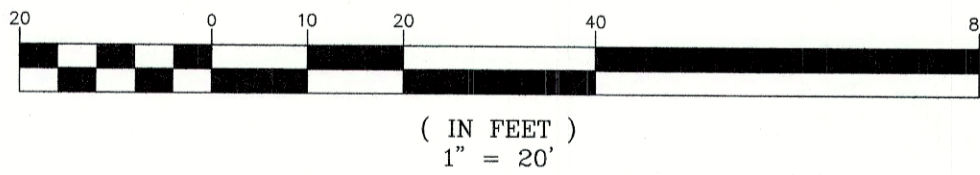
PLANTING SCHEDULE:

BOTANICAL NAME/COMMON NAME		SIZE	LABEL	QUANTITY
TREES				
ACER RUBRUM 'RED SUNSET' / RED SUNSET RED MAPLE		2.5-3" CAL.	AR	2
QUERCUS COCCINEA / SCARLET OAK		2.5-3" CAL.	QC	2
SHRUBS				
POTENTILLA FRUTICOSA / SHRUBBY CINQUEFOIL		1 GAL.	PF	18
ILEX GLABRA COMPACTA / COMPACT INKBERRY		5 GAL.	IG	3

LUMINAIRE SCHEDULE:

Symbol	Qty	Label	Arrangement	Description
DL	4	DL	Single	496860Z (KICHLER) / MTD AT FRONT DOOR
GL	4	GL	Single	TGS25402MRRW / WALL MTD 8.5' AFG

GRAPHIC SCALE



PROJECT PARCEL TOWN OF FREMONT TAX MAP 3, BLOCK 37, LOT 3
APPLICANT/OWNER PPM FREMONT HOLDINGS, LLC 326 MAIN STREET, UNIT 11 FREMONT, NH 03044 BK 5059, PG 1628
TOTAL LOT AREA 233,197 SQ. FT. 5.35 ACRES

HALO OUTDOOR

TGS Series Floodlights

Flood, Dusk to Dawn, Motion and Connected (HALO Home) floodlighting

The TGS Floodlight family is designed to cover many possible use case scenarios, from flood to connected floodlighting.

All versions of TGS include a lumen selectable switch that can reduce the light intensity from the maximum available lumen package.

Easy to install, and with metal die-cast heads, the TGS is ideal for both residential and commercial areas such as yards, driveways, patios, loading areas and warehouses.

Typical Applications:
Residential, Outdoor Area Use

Product Certification:
UL, ENEC, FC, DLC

Product Features:
• Durable die-cast aluminum head with UV resistant polycarbonate lens
• Lumen selectable from two packages: 2,500 Lumens Max or 3,000 Lumens Max (Dimmable)
• Single head (Square only), Twin head (Square or Round) and Triple head (Round only) available
• Maintenance-free LEDs with 70,000 hours of life (100,000 hours for TGS Commercial and HALO Home SKUs)
• Wall or pole mounted to recessed or surface junction boxes
• Easy to install with Quick Connect connector

Top Product Features: Flood, Motion and Dusk to Dawn SKUs

- Durable die-cast aluminum head with UV resistant polycarbonate lens
- Lumen selectable from two packages: 2,500 Lumens Max or 3,000 Lumens Max (Dimmable)
- Single head (Square only), Twin head (Square or Round) and Triple head (Round only) available
- Maintenance-free LEDs with 70,000 hours of life (100,000 hours for TGS Commercial and HALO Home SKUs)
- Wall or pole mounted to recessed or surface junction boxes
- Easy to install with Quick Connect connector

Top Product Features: Connected HALO Home SKUs

- Uses Bluetooth® Mesh technology for use with HALO Home mobile app
- No hub or gateway required to establish wireless control
- Control On/Off and dimming with compatible HALO Home switches and app
- White tuning from 3000K to 5000K CCT
- Control grouping, scheduling, countdown timer or scenes via app
- Compatible with Amazon Echo when used with HALO Home Bridge

COOPER Lighting Solutions

Toman™ 10.25" 1 Light Wall Light Olive Bronze®

496860Z

SPECIFICATIONS

Certifications/Qualifications: www.kichler.com/warranty

Dimensions:
Base Backplate: 4.75 X 5.00
Extension: 6.50"
Weight: 2.95 LBS
Height from center of Wall opening: 2.75"
(Spec Sheet)
Height: 10.25"
Width: 6.00"

Light Source:
Lamp Included: Not Included
Lamp Type: A19
Light Source: Incandescent
Max or Nominal Watt: 75W
of Bulbs/LED Modules: 1
Socket Type: Medium
Socket Wire: 150"

Mounting/Installation:
Interior/Exterior: Exterior
Location Rating: Wet
Mounting Style: Wall Mount
Mounting Weight: 1.63 LBS

FIXTURE ATTRIBUTES

Housing: Off-Base Description: Satin Etched Aluminum
Primary Material: Aluminum

Product/Ordering Information:
SKU: 496860Z
Finish: Olive Bronze
Style: Transitional
UPC: 763927492041

Finish Options:
• Black
• Olive Bronze

ALSO IN THIS FAMILY

496860K1.18, 496860K, 496860K, 496860K, 496860K, 496860K

Design: BWG	Draft: DFP	Date: 11/15/2021
Checked: BWG	Scale: AS SHOWN	Project No.: 20631
Drawing Name: 20631-PLAN.dwg		
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1	11/15/21	REVISED PER PB COMMENTS	BWG
0	10/6/21	ISSUED FOR REVIEW	BWG
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.

Designed and Produced in NH

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	LIGHTING AND LANDSCAPE PLAN
Project:	PPM TOWNHOMES SPAULDING ROAD, FREMONT, NH
Owner of Record:	PPM FREMONT HOLDING, LLC 326 MAIN STREET FREMONT, NH 03044

DRAWING No.
L1
SHEET 9 OF 12 JBE PROJECT NO. 20631

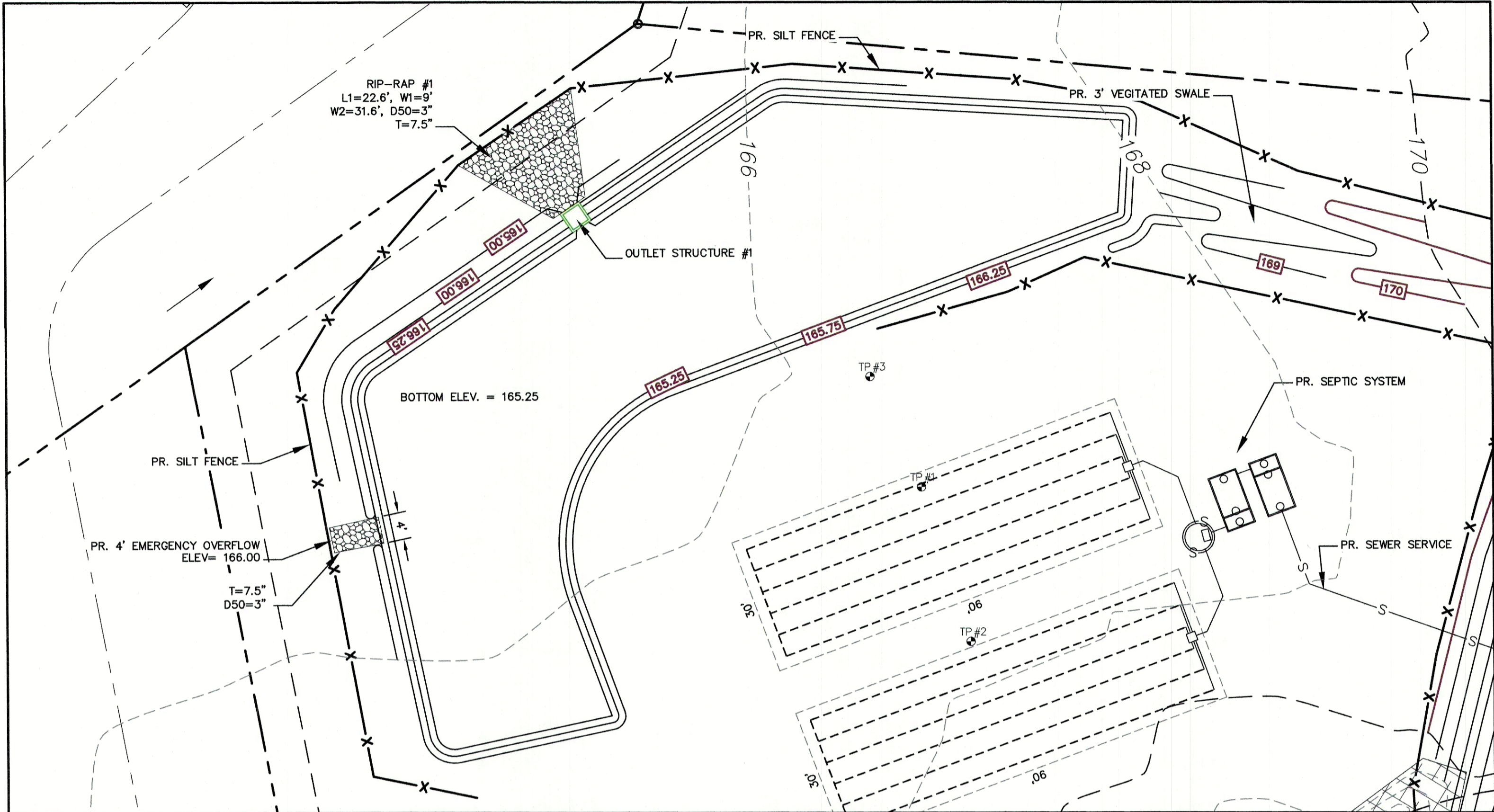
DRAWING No.

D1

SHEET 10 OF 12

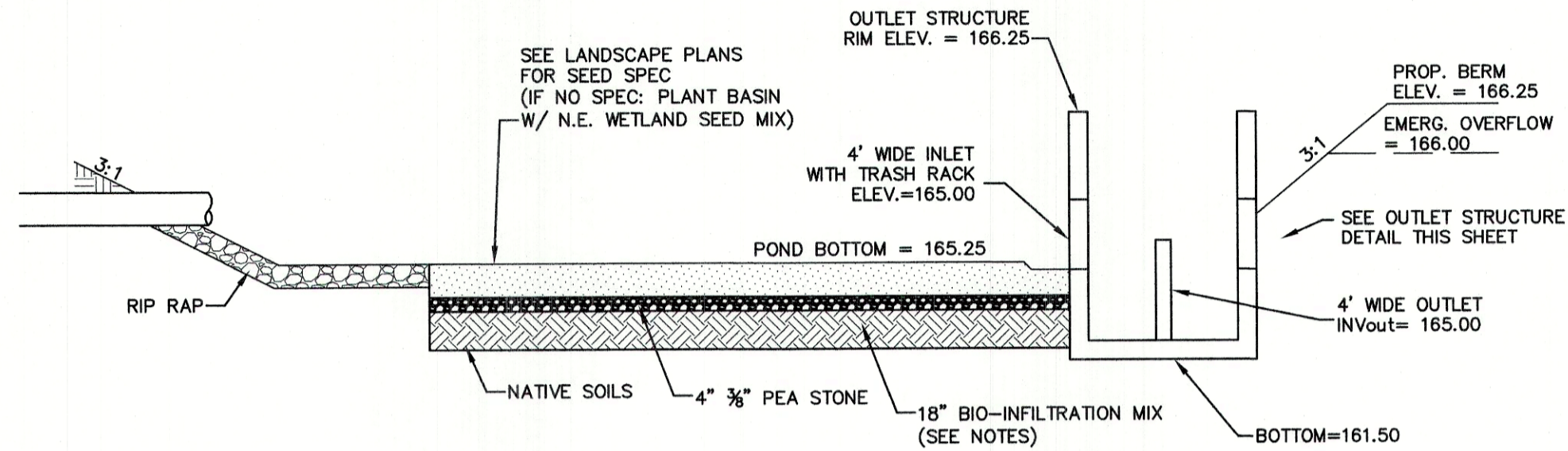
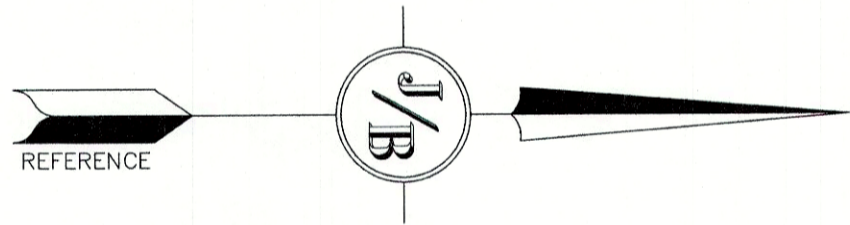
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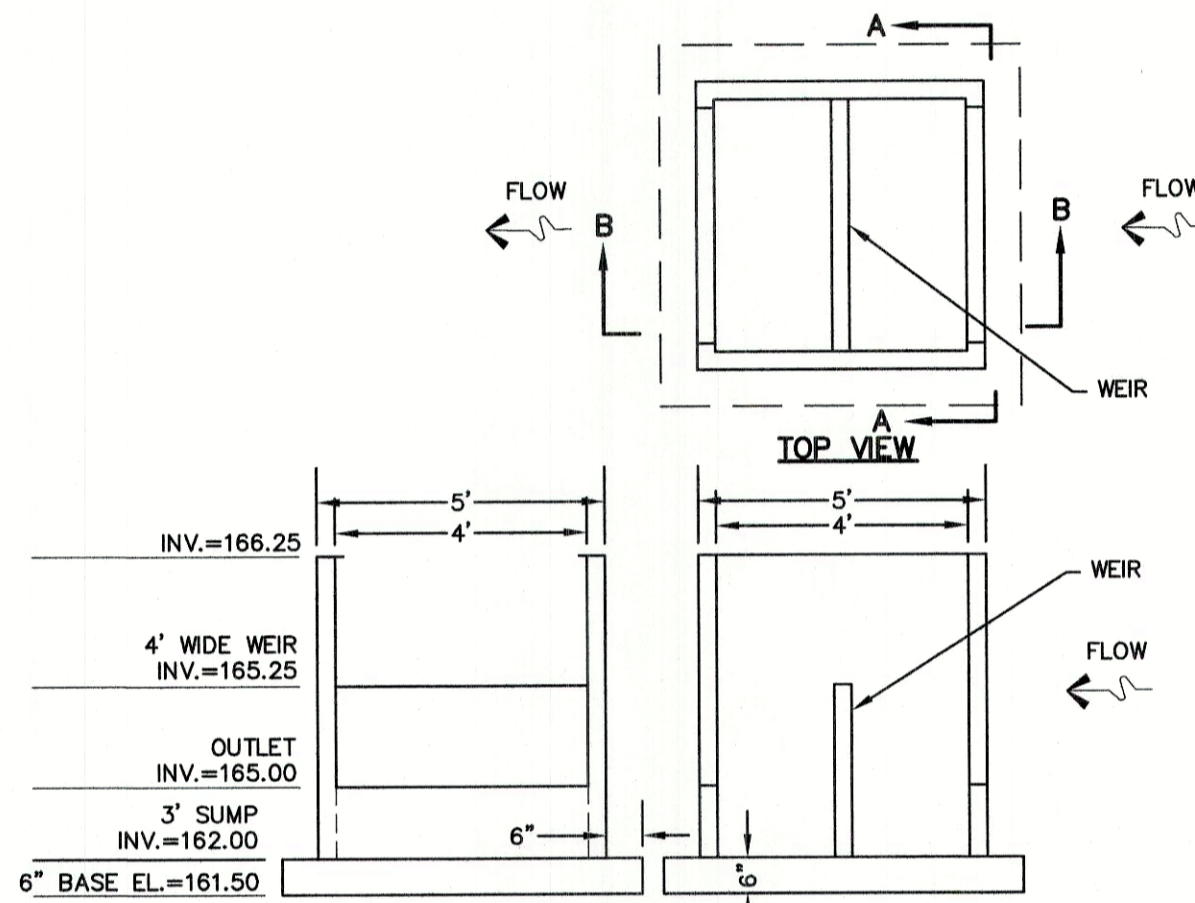
INFILTRATION BASIN #1

SCALE: 1" = 20'



INFILTRATION BASIN

NOT TO SCALE

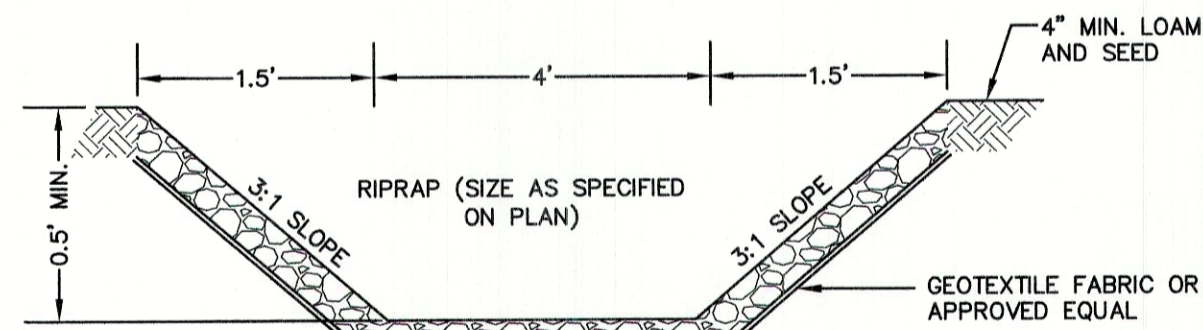


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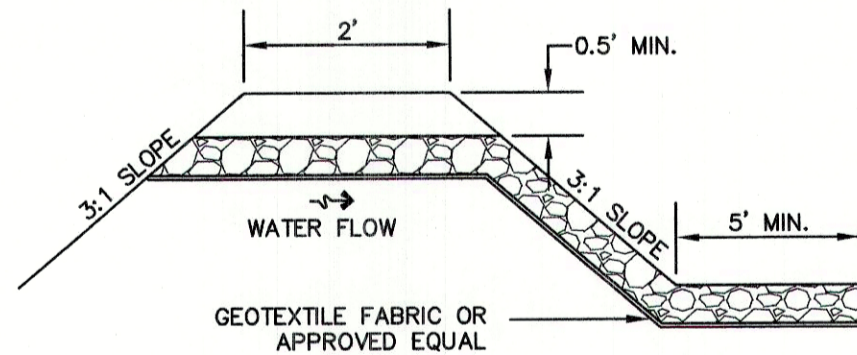
1. ALL OPENINGS TO BE FITTED WITH TRASH RACKS TO ENGINEER'S SPECIFICATIONS.
2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER REVIEW AND APPROVAL.

OUTLET STRUCTURE #1

NOT TO SCALE



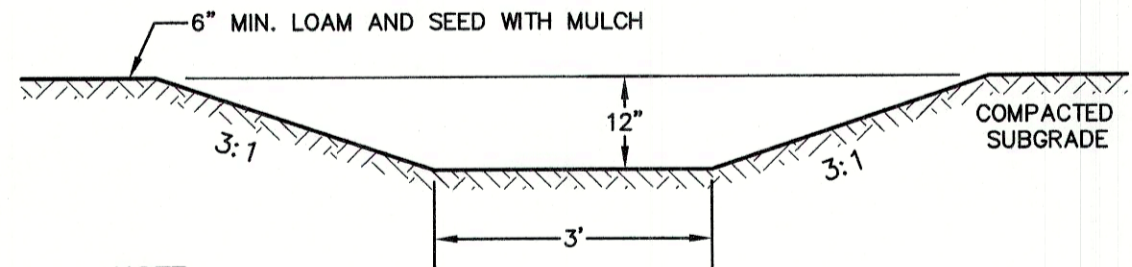
EMERGENCY SPILLWAY SECTION



EMERGENCY SPILLWAY PROFILE

EMERGENCY SPILLWAY

NOT TO SCALE



NOTE:

1. STABILIZED PRIOR TO DIRECTING RUN OFF TO SWALE
2. CONSTRUCT SWALE AT 0.010 FT/FT SLOPE (MIN.)

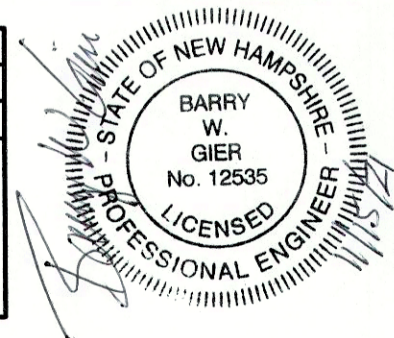
VEGETATED SWALE

NOT TO SCALE

BIO-INFILTRATION MIX AND PROCEDURE:

1. REMOVE EXISTING FOREST LITTER FROM INFILTRATION BASIN SITE.
2. REMOVE SANDY LOAM AND STOCKPILE (SCREEN LARGE ROOTS).
3. REMOVE SANDY LAYERS TO 18" BELOW BASIN FLOOR ELEVATION.
4. BIO-INFILTRATION MIX: (BY VOLUME)
 - 4.1. 50%-55% ASTM C-33 CONCRETE SAND.
 - 4.2. 20%-30% LOAMY SAND TOPSOIL WITH 15%-25% FINES PASSING A #200 SIEVE
 - 4.3. 20%-30% MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH WITH LESS THAN 5% PASSING THE #200 SIEVE.
5. INSTALL TO BIO-INFILTRATION MIX TO BASIN BOTTOM ELEVATION
6. SEED WITH "NEW ENGLAND WARM SEASON GRASS MIX" AS SOLD BY NEW ENGLAND WETLAND PLANTS, INC. OR EQUAL AS APPROVED BY ENGINEER. APPLICATION RATE = 1900 SQ.FT. / LB.
- 6.1. LIGHTLY MULCH WITH WEED FREE STRAW.

Design: BWG	Draft: DFP	Date: 11/15/2021
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1	11/15/21	REVISED PER PB COMMENTS	BWG
0	10/6/21	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

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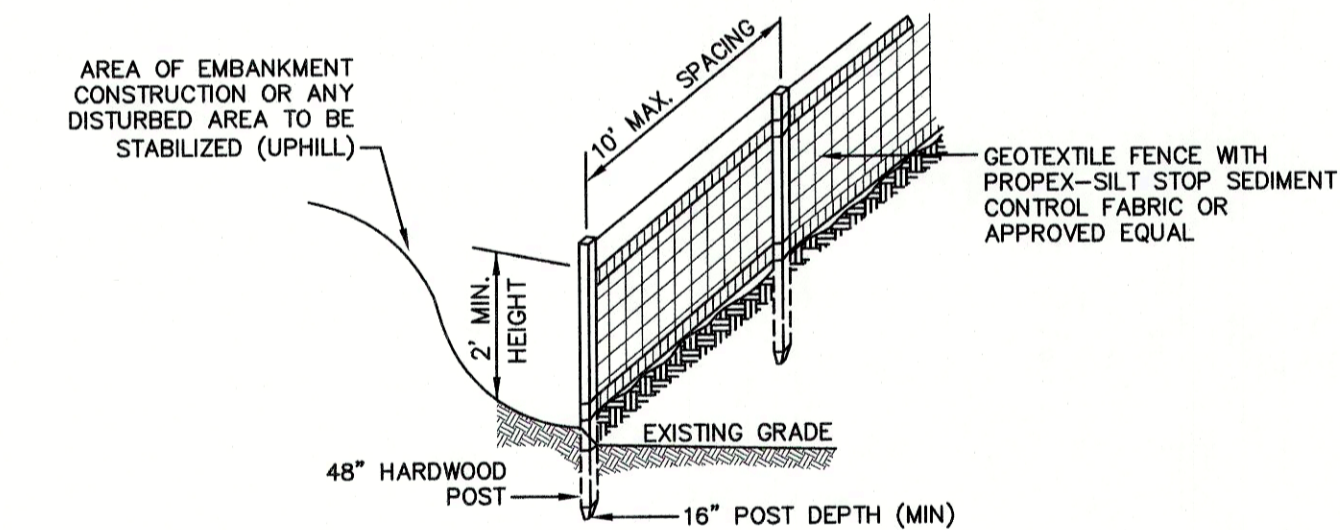
Plan Name:	DETAIL SHEET
Project:	PPM TOWNHOMES SPAULDING ROAD, FREMONT, NH
Owner of Record:	PPM FREMONT HOLDING, LLC 326 MAIN STREET FREMONT, NH 03044

Drawing No.	D2
SHEET 11 OF 12	JBE PROJECT NO. 20631

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TEMPORARY EROSION CONTROL NOTES

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE BELOW).
- PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
- IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
 - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS STABLE
 - DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 1/2 INCH OR GREATER RAIN EVENT (I.E. 1/2 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
 - THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17 AND ALL APPLICABLE DES PERMIT CONDITIONS.

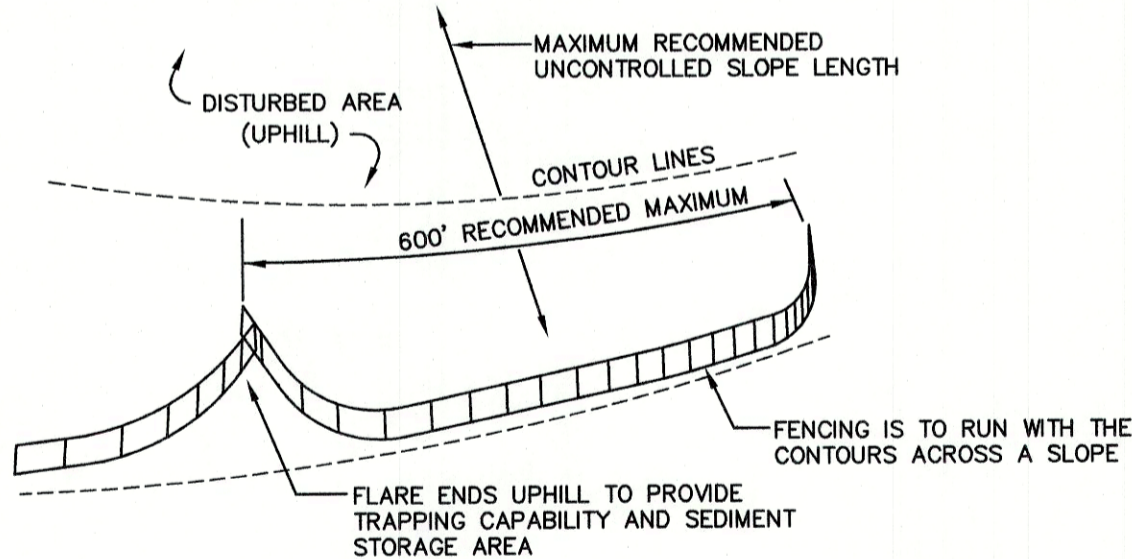


CONSTRUCTION SPECIFICATIONS:

- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
- THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
- PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
- SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

SILT FENCE

NOT TO SCALE



- SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SEEDING SPECIFICATIONS

- GRADING AND SHAPING.**
 - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION**
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDSFOOT, TREFOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH**
 - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
 - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/
GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.					
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.					

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

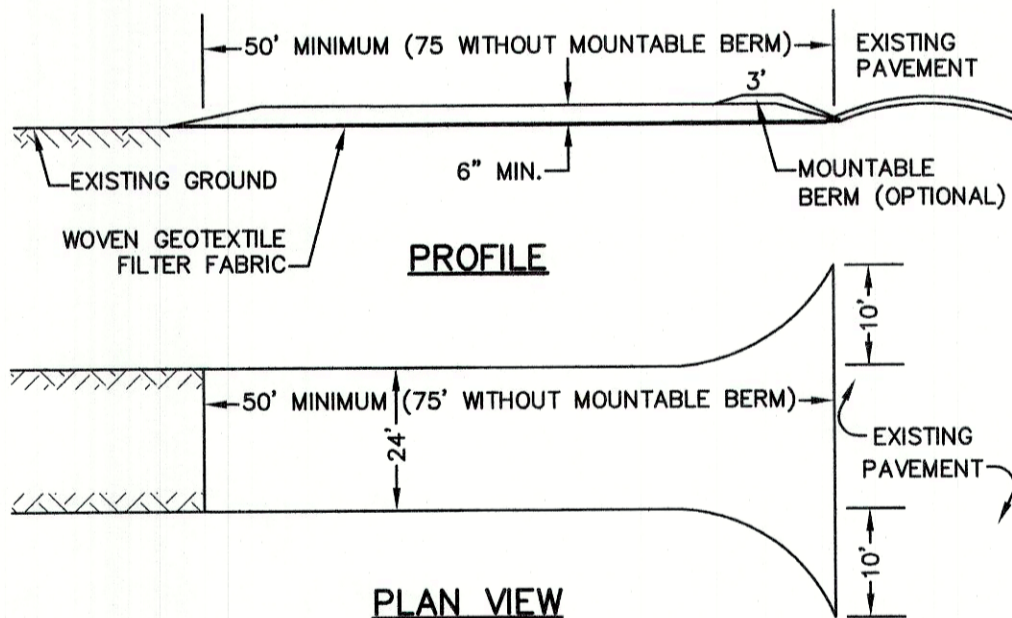
SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH OR	15	0.35
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60
1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.		

SEEDING RATES

CONSTRUCTION SEQUENCE

- PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
- STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS, INCLUDING THE CONSTRUCTION OF ANY RETAINING WALLS AND SOUND WALLS.
- PREPARE BUILDING PAD(S) TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
- INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ABUTTING WATERS AND/OR PROPERTY.
- PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF 'SELECT' SUBGRADE MATERIALS.
- PAVE ALL PARKING LOTS AND ROADWAYS WITH INITIAL 'BASE COURSE'.
- PERFORM ALL REMAINING SITE CONSTRUCTION (I.e. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
- LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.e. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH 'FINISH' COURSE.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.



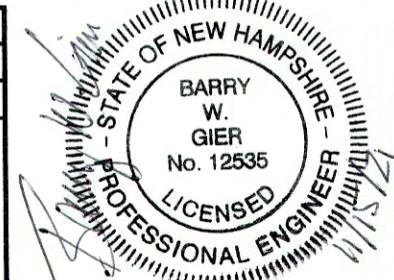
NOTES:

- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, 75' WITHOUT A MOUNTABLE BERM, AND EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

Design: BWG	Draft: DFP	Date: 11/15/2021
Checked: BWG	Scale: AS SHOWN	Project No.: 20631
Drawing Name: 20631-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE).		
ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
1	11/15/21	REVISED PER PB COMMENTS	BWG
0	10/6/21	ISSUED FOR REVIEW	BWG

Designed and Produced in NH

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Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	PPM TOWNHOMES SPAULDING ROAD, FREMONT, NH
Owner of Record:	PPM FREMONT HOLDING, LLC 326 MAIN STREET FREMONT, NH 03044

DRAWING No.

E1

SHEET 12 OF 12
JBE PROJECT NO. 20631