

Parking + cross walk 1-4 parking spots

D-32621 Blow up



## USAGE AREAS

LOT #	NEW AREA	"NATURAL" STATE AREA	WETLAND AREA	RECREATION AREA	USED AREA
37	5.25 AC.	0.88 AC.	0.49 AC.	0.53 AC.	4.59 AC.
37-1	10.80 AC.	5.15 AC.	3.58 AC.	0.03 AC.	5.85 AC.
37-2	2.94 AC.	0.17 AC.	-	0 AC.	2.77 AC.
37-3	5.32 AC.	0.37 AC.	-	0 AC.	4.95 AC.

## EXCLUSIONARY USES

- IN NO CASE WILL THE PROPOSED RETAIL AND COMMERCIAL SPACES INCLUDE THE FOLLOWING:
1. ANY USE THAT PRODUCES EXCESSIVE SMOKE, SOOT, NOISE OR HAZARDOUS WASTE.
  2. ANY ADULT USES (TOPLESS BAR, ADULT BOOK STORE, ETC.)
  3. ANY LAUNDRY/RELAAXATION USES.
  4. ONLY LOW-HAZARD USES WILL BE ALLOWED (1 HOUR, 2 HOUR FIRE RATINGS)

ALL CONDOMINIUM USES ARE SUBJECT TO SITE REVIEW BY THE TOWN BUILDING INSPECTOR AND PLANNING BOARD.

## NOTES

1. SEE SHEET 1 FOR NOTES, OWNER'S SIGNATURE, PLAN REFERENCES, VOLUME PLAN, AND TAX MAP SKETCH. SEE SHEET 5 FOR LOT CHARACTERISTICS.
2. THIS DEVELOPMENT WILL BE CONDOMINUMIZED INTO FOUR ASSOCIATIONS:  
A. LOT 37: UNITS 3-10  
B. LOT 37-1: UNITS 1 AND UNITS 14-22  
C. LOT 37-2: UNITS 11, 12, AND 13 (CELL TOWER)  
D. LOT 37-3: UNITS 23-29

3. PARKING CALCULATIONS:  
MANUFACTURING: 1 SP./1,000 S.F. + 1.5 SP./RESIDENTIAL UNIT  
(82,330 S.F./1,000 S.F.) + (9 UNITS x 1.5 SP.)  
= 62.9 + 13.5 = 76.4 SPACES  
TOTAL REQUIRED SPACES (MANUFACTURING)  
= 77 SPACES REQUIRED

77 SPACES PROPOSED  
(PLUS 35 GRAVEL SPACES)  
RETAIL:  
RESTAURANT: 50 SEATS @ 1 SP./3 SEATS  
PLUS 1 PER EMPLOYEE ON LARGEST SHIFT  
= 16.7 + 10 = 26.7 SPACES  
EXERCISE STUDIO: 3250 S.F. @ 1 SP./150 S.F.  
= 21.7 SPACES  
BEAUTY SALON: 3250 S.F. @ 1 SP./250 S.F.  
= 13 SPACES  
CONVENIENCE STORE & PHARMACY: 3250 S.F. @ 1 SP./200 S.F.  
= 16.3 SPACES  
EXERCISE GYM: 3250 S.F. @ 1 SP./150 S.F. = 21.7 SPACES  
DAYCARE CENTER: 10 EMPLOYEES @ 2 SP./EMPLOYEE  
= 20 SPACES  
MEDICAL OFFICES: 3250 S.F. @ 1 SP./250 S.F.  
= 13 SPACES  
PROFESSIONAL OFFICES: 3250 S.F. @ 1 SP./250 S.F.  
= 13 SPACES  
APARTMENTS: 3 UNITS x 1.5 SP./UNIT = 4.5 SP  
PROFESSIONAL OFFICES: 0 UNITS x 1500 S.F. x 1 SP./500 S.F.  
= 0 SP  
= 26.7 + 21.7 + 13 + 16.3 + 21.7 + 20 + 13 + 13 + 4.5 + 0  
= 180.9 SPACES REQUIRED  
TOTAL REQUIRED SPACES (RETAIL)  
= 181 SPACES REQUIRED  
181 SPACES PROPOSED

TOTAL SPACES REQUIRED: 77 + 181 = 258 SPACES  
TOTAL PROPOSED PARKING SPACES SHOWN = 258 SPACES  
(PLUS ADDITIONAL 35 GRAVEL SPACES)

4. HOURS OF OPERATION: 8 AM TO 12 PM.
5. HOURS OF CONSTRUCTION: 7 AM TO 7 PM (MON-SAT)  
NO SUNDAY CONSTRUCTION ALLOWED

## PROPOSED USES

- |  |  |
|--|--|
| UNIT 1: EXISTING BUILDING<br>PROPOSED 2544 S.F.<br>LIGHT MANUFACTURING           | UNIT 18: PROPOSED BUILDING<br>PROPOSED 3370 S.F.<br>EXERCISE GYM             |
| UNIT 2: EXISTING BUILDING<br>PROPOSED 2225 S.F.<br>LIGHT MANUFACTURING           | UNIT 19: PROPOSED BUILDING<br>PROPOSED 3370 S.F.<br>DAYCARE CENTER           |
| UNIT 3: EXISTING BUILDING<br>PROPOSED 3232 S.F.<br>LIGHT MANUFACTURING           | UNIT 20: PROPOSED BUILDING<br>PROPOSED 3334 S.F.<br>DOCTOR & DENTISTS OFFICE |
| UNIT 4: EXISTING BUILDING<br>PROPOSED 2075 S.F.<br>LIGHT MANUFACTURING           | UNIT 21: PROPOSED BUILDING<br>PROPOSED 3334 S.F.<br>ACCOUNTANT               |
| UNIT 5: EXISTING BUILDING<br>PROPOSED 2830 S.F.<br>LIGHT MANUFACTURING           | UNIT 22: PROPOSED BUILDING<br>PROPOSED 3570 S.F.<br>CHIROPRACTOR             |
| UNIT 6: EXISTING BUILDING<br>PROPOSED 2034 S.F.<br>LIGHT MANUFACTURING           | UNIT 23: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING      |
| UNIT 7: EXISTING BUILDING<br>PROPOSED 3232 S.F.<br>LIGHT MANUFACTURING           | UNIT 24: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING      |
| UNIT 8: EXISTING BUILDING<br>PROPOSED 3228 S.F.<br>LIGHT MANUFACTURING           | UNIT 25: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING      |
| UNIT 9: EXISTING BUILDING<br>PROPOSED 3228 S.F.<br>LIGHT MANUFACTURING           | UNIT 26: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING      |
| UNIT 10: EXISTING BUILDING<br>PROPOSED 3222 S.F.<br>LIGHT MANUFACTURING          | UNIT 27: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING      |
| UNIT 11: EXISTING BUILDING<br>PROPOSED 10,049 S.F.<br>LIGHT MANUFACTURING        | UNIT 28: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING      |
| UNIT 12: EXISTING BUILDING<br>PROPOSED 7808 S.F.<br>LIGHT MANUFACTURING          | UNIT 29: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING      |
| UNIT 13: EXISTING BUILDING<br>PROPOSED 3625 S.F.<br>CAFE OR RESTAURANT           |  |
| UNIT 14: EXISTING BUILDING<br>PROPOSED 3375 S.F.<br>EXERCISE STUDIO              |  |
| UNIT 15: EXISTING BUILDING<br>PROPOSED 3430 S.F.<br>BEAUTY SALON                 |  |
| UNIT 16: EXISTING BUILDING<br>PROPOSED 3430 S.F.<br>CONVENIENCE STORE & PHARMACY |  |
| UNIT 17: EXISTING BUILDING<br>PROPOSED 3430 S.F.<br>CONVENIENCE STORE & PHARMACY |  |

## SITE PLAN

COOPERS CORNERS  
TAX MAP 3 • LOTS 37, 37-1  
ROUTE 107  
FREMONT, N.H.

PREPARED FOR  
COOPER'S CORNER, LLC  
326 MAIN ST., UNIT 7A, FREMONT, NH 03044

OCTOBER 8, 2004

SCALE: 1" = 50'

PREPARED BY  
ERIC C. MITCHELL & ASSOC. INC.  
PLANNING - ENGINEERING - SURVEYING - ENVIRONMENTAL  
P.O. BOX 10298, 55 SO. RIVER RD., BEDFORD N.H. 03110-0298  
PH. (603) 627-1181  
SHEET 4 OF 18

## LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE SET OR FOUND
- IRON PIN/DRILL HOLE TO BE SET
- GRAVITY BOUND TO BE SET
- ELEVATION BENCHMARK
- WATER VALVE
- EXIST. DRAINAGE AND CATCH BASIN
- PROPOSED DRAINAGE/ CATCH BASIN
- PROP DRAIN MANHOLE
- PROP MORTAR RUBBLE WALL
- GUY WIRE
- UTILITY POLE AND LINE
- PROPOSED SEWER MANHOLE
- PROP DRY HYDRANT
- BUILDING SETBACK LINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED SIGN
- EDGE OF WET
- EXISTING TREELINE
- PROPOSED TREELINE
- RIPRAP
- BUILDING
- HANDICAP PARKING
- PROPOSED TRAFFIC FLOW
- SLOPE EASEMENT
- DRAINAGE EASEMENT

REV.	DATE	DESCRIPTION	BY
F	4/27/05	FINAL REVISIONS	BAD
E	3/07/05	REVISIONS PER REVIEW COMMENTS	BAD
D	2/15/05	REVISIONS PER TOWN COMMENTS	BAD
C	3/7/05	REVISIONS PER SEPTIC DESIGNS	BAD
B	1/12/05	REVISIONS PER COMMENTS	BAD

## REVISIONS

ROUTE 107 (MAIN STREET)

D-32621 Sheet 1 of 2

APPROVED BY THE FREMONT, NH  
PLANNING BOARD ON: 5/4/05

CHAIRMAN: *[Signature]*

MEMBER: *[Signature]*

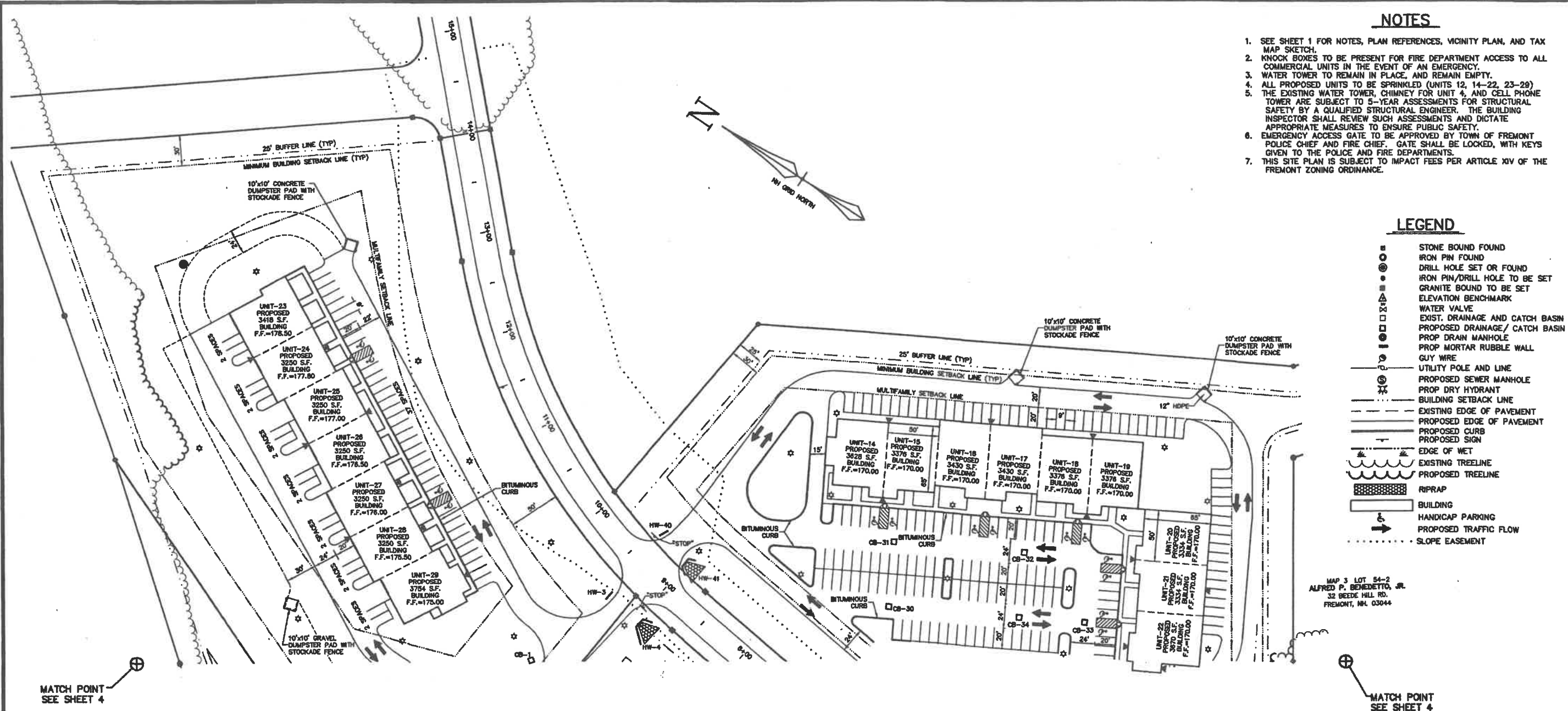
MEMBER: *[Signature]*

MEMBER: *[Signature]*

MEMBER: *[Signature]*

MEMBER: *[Signature]*





NOTES

- 1. SEE SHEET 1 FOR NOTES, PLAN REFERENCES, VICINITY PLAN, AND TAX MAP SKETCH.
- 2. KNOCK BOXES TO BE PRESENT FOR FIRE DEPARTMENT ACCESS TO ALL COMMERCIAL UNITS IN THE EVENT OF AN EMERGENCY.
- 3. WATER TOWER TO REMAIN IN PLACE, AND REMAIN EMPTY.
- 4. ALL PROPOSED UNITS TO BE SPRINKLED (UNITS 12, 14-22, 23-29)
- 5. THE EXISTING WATER TOWER, CHIMNEY FOR UNIT 4, AND CELL PHONE TOWER ARE SUBJECT TO 5-YEAR ASSESSMENTS FOR STRUCTURAL SAFETY BY A QUALIFIED STRUCTURAL ENGINEER. THE BUILDING INSPECTOR SHALL REVIEW SUCH ASSESSMENTS AND DICTATE APPROPRIATE MEASURES TO ENSURE PUBLIC SAFETY.
- 6. EMERGENCY ACCESS GATE TO BE APPROVED BY TOWN OF FREMONT POLICE CHIEF AND FIRE CHIEF. GATE SHALL BE LOCKED, WITH KEYS GIVEN TO THE POLICE AND FIRE DEPARTMENTS.
- 7. THIS SITE PLAN IS SUBJECT TO IMPACT FEES PER ARTICLE XIV OF THE FREMONT ZONING ORDINANCE.

LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE SET OR FOUND
- IRON PIN/DRILL HOLE TO BE SET
- GRANITE BOUND TO BE SET
- ELEVATION BENCHMARK
- WATER VALVE
- EXIST. DRAINAGE AND CATCH BASIN
- PROPOSED DRAINAGE/ CATCH BASIN
- PROP DRAIN MANHOLE
- PROP MORTAR RUBBLE WALL
- GUY WIRE
- UTILITY POLE AND LINE
- PROPOSED SEWER MANHOLE
- PROP DRY HYDRANT
- BUILDING SETBACK LINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED SIGN
- EDGE OF WET
- EXISTING TREELINE
- PROPOSED TREELINE
- RIPRAP
- BUILDING
- HANDICAP PARKING
- PROPOSED TRAFFIC FLOW
- SLOPE EASEMENT

NOTES

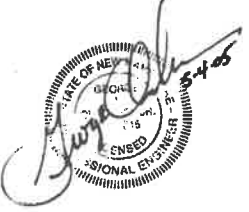
- 1. LOT SPECIFICATIONS:
  - A. LOT 37: 16,388 S.F. OF COMMERCIAL AND RETAIL SPACE WITH ONE RESIDENTIAL UNIT  
REQUIRED ROAD FRONTAGE = 200.00'  
PROVIDED ROAD FRONTAGE = 940.38'  
REQUIRED LOT SIZE = 2.00 ACRES  
PROVIDED LOT SIZE = 5.35 ACRES  
FRONT SETBACK = 50'  
SIDE AND REAR SETBACK = 30'
  - B. LOT 37-1: 33,798 S.F. OF RETAIL SPACE WITH THREE RESIDENTIAL UNITS  
REQUIRED ROAD FRONTAGE = 200' + (20' x 3 UNITS) = 260.00'  
PROVIDED ROAD FRONTAGE = 1040.72'  
REQUIRED LOT SIZE = 2.00 ACRES + (12,000 S.F. x 3 UNITS) = 2.83 ACRES  
PROVIDED LOT SIZE = 10.80 ACRES  
FRONT SETBACK = 50' + (5' x 3 UNITS) = 65'  
SIDE AND REAR SETBACK = 30' + (10' x 3 UNITS) = 60'
  - C. LOT 37-2: 17,854 S.F. OF COMMERCIAL AND RETAIL SPACE WITH ONE RESIDENTIAL UNIT  
REQUIRED ROAD FRONTAGE = 200.00'  
PROVIDED ROAD FRONTAGE = 300.41'  
REQUIRED LOT SIZE = 2.00 ACRES  
PROVIDED LOT SIZE = 2.94 ACRES  
FRONT SETBACK = 50'  
SIDE AND REAR SETBACK = 30'
  - D. LOT 37-3: 22,750 S.F. OF COMMERCIAL AND RETAIL SPACE WITH SEVEN RESIDENTIAL UNITS  
REQUIRED ROAD FRONTAGE = 200' + (40' x 7 UNITS) = 480.00'  
PROVIDED ROAD FRONTAGE = 498.38'  
REQUIRED LOT SIZE = 2.00 ACRES + (20,000 S.F. x 7 UNITS) = 5.21 ACRES  
PROVIDED LOT SIZE = 5.32 ACRES  
FRONT SETBACK = 50' + (5' x 7 UNITS) = 85'  
SIDE AND REAR SETBACK = 30' + (10' x 7 UNITS) = 100'

REV.	DATE	DESCRIPTION	BY
F	4/27/05	FINAL REVISIONS	BAD
E	3/07/05	REVISIONS PER REVIEW COMMENTS	BAD
D	2/15/05	REVISIONS PER TOWN COMMENTS	BAD
C	2/7/05	REVISIONS PER SEPTIC DESIGNS	BAD
B	1/12/05	REVISIONS PER COMMENTS	BAD

REVISIONS

D-32621 Sheet 2 of 2

APPROVED BY THE FREMONT, NH PLANNING BOARD ON: 5/4/05  
CHAIRMAN: [Signature]  
MEMBER: [Signature]  
MEMBER: [Signature]  
MEMBER: [Signature]  
MEMBER: [Signature]



SITE PLAN  
COOPERS CORNERS  
TAX MAP 3 • LOTS 37, 37-1  
ROUTE 107  
FREMONT, N.H.

PREPARED FOR  
COOPER'S CORNER, LLC  
326 MAIN ST., UNIT 7A, FREMONT, NH 03044  
OCTOBER 8, 2004

SCALE: 1" = 50'

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**NOTES**

- THE PURPOSE OF THIS PLAN IS TO SHOW ON LOT 37-1
  - AN EXISTING 2,844 S.F. BUILDING (UNIT 1)
  - A PROPOSED 20,616 S.F. BUILDING (UNITS 14-19)
  - A PROPOSED 10,338 S.F. BUILDING (UNITS 20-22), AND ASSOCIATED PARKING AND DRAINAGE.
 ALL UNITS TO BE SERVED BY ON-SITE COMMUNITY WATER SYSTEM AND ON-SITE SEPTIC.
- THE INTENT OF THIS REVISED SITE PLAN IS TO:
  - ADD A SECOND DRIVEWAY ENTRANCE TO THE SITE
  - REGRADE THE SITE
  - ALTER THE LEACH FIELD CONFIGURATION
  - MOVE THE APARTMENTS FROM UNITS 20-22 TO UNITS 14-16
  - ADD A 20' x 20' SALT SHED
  - RECONFIGURE THE ARCHITECTURAL DETAILS OF THE SITE
- TAX MAP 3 LOT 37-1 IS PRESENTLY RETAIL.
- THE TOTAL AREA OF TAX MAP 3 LOT 37-1 IS 10.80 ACRES (470,231 SF).
- ZONING REQUIREMENTS: FREMONT STANDARD ZONING
  - MINIMUM ROAD FRONTAGE = 200' (AVERAGE AT MIDDLE OF LOT IF ON EXTERIOR SIDE OF CURVING STREET)
  - MINIMUM LOT SIZE = 2 ACRES
  - MINIMUM FRONT SETBACK = 50'
  - MINIMUM SIDE AND REAR SETBACK = 30'
  - MAXIMUM IMPERVIOUS COVERAGE = 30%
  - MINIMUM WETLAND SETBACK = 100' (200' WHERE EXISTING GRADE > 12% ADJACENT TO WETLANDS)
  - NO SEPTIC SYSTEM OR LEACH FIELD ALLOWED WITHIN 30 FEET OF A LOT LINE
  - NO OPEN PARKING AREAS OR GARAGES IN THE BUILDING SETBACK
  - MAXIMUM BUILDING HEIGHT = 35'
- ZONING REQUIREMENTS: FREMONT MULTIFAMILY ZONING (8 OR LESS UNITS ALLOWED)
  - MINIMUM ROAD FRONTAGE = 200' PLUS 20 FEET ADDITIONAL PER UNIT FOR LESS THAN 5 UNITS
  - MINIMUM ROAD FRONTAGE = 200' PLUS 40 FEET ADDITIONAL PER UNIT FOR 5 UNITS OR MORE
  - MINIMUM LOT SIZE = 2 ACRES PLUS 12,000 S.F. ADDITIONAL AREA PER UNIT FOR LESS THAN 5 UNITS
  - MINIMUM LOT SIZE = 2 ACRES PLUS 20,000 S.F. ADDITIONAL AREA PER UNIT FOR 5 UNITS OR MORE
  - MINIMUM FRONT SETBACK = 50 FEET PLUS 5 ADDITIONAL FEET PER DWELLING UNIT
  - MINIMUM SIDE AND REAR SETBACK = 30 FEET PLUS 10 ADDITIONAL FEET PER DWELLING UNIT
  - MAXIMUM IMPERVIOUS COVERAGE = 30%
  - MINIMUM WETLAND SETBACK = 100' (200' WHERE EXISTING GRADE > 12% ADJACENT TO WETLANDS)
  - NO SEPTIC SYSTEM OR LEACH FIELD ALLOWED WITHIN 30 FEET OF A LOT LINE
  - NO OPEN PARKING AREAS OR GARAGES IN THE BUILDING SETBACK
  - MAXIMUM BUILDING HEIGHT = 35'
- PARKING REQUIREMENTS SUMMARY: SEE SHEET 4 FOR PARKING CALCULATIONS
 

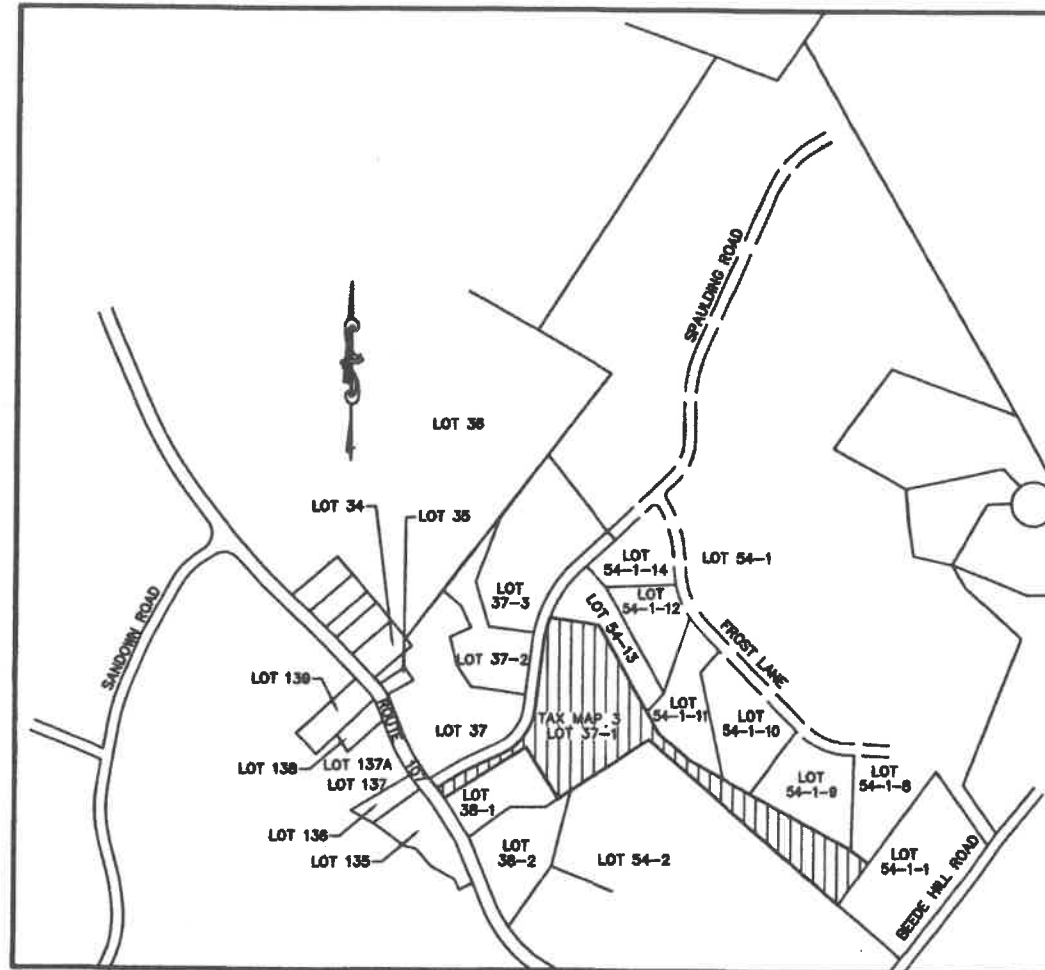
LOT #	EXIST. BLDG. COVERAGE	PROPOSED BLDG. COVERAGE	TOTAL BLDG. COVERAGE	TOTAL BLDG. % COVERAGE
37-1	2,844 S.F.	30,854 S.F.	33,798 S.F.	7.2%
- IMPERVIOUS COVERAGE: (WHICH INCLUDES BUILDINGS, OFF STREET PARKING AREAS, DRIVEWAYS, SEPTIC SYSTEMS, AND ASSOCIATED LEACHING FIELDS)
 

LOT 37-1: TOTAL "IMPERVIOUS" COVERAGE = 28% (30% MAXIMUM)
- ZONING VARIANCES GRANTED 1/04/05 BY THE FREMONT ZONING BOARD OF ADJUSTMENT:
  - ARTICLE IV SECTION 1: TO ALLOW THE EXISTING BUILDING (UNIT 1) TO ENCRoACH INTO THE PROPOSED ROW, THE FRONT SETBACK (AND BUFFER) OF THE PROPOSED ROW, AND THE FRONT SETBACK OF EXISTING ROUTE 107.
  - ARTICLE IV SECTION 4: TO REDUCE THE PARKING SPACE WIDTH FROM 12' TO 9'.
- THE FOLLOWING SPECIAL EXCEPTIONS TO ARTICLE IX OF THE ZONING REGULATIONS WERE GRANTED ON 1/04/05 BY THE FREMONT ZONING BOARD OF ADJUSTMENT:
  - TO ALLOW GRADING WITHIN 100' OF THE WETLANDS FOR DRAINAGE AND DRAINAGE STRUCTURES.
- WITH THE APPROVAL OF THIS PLAN THE PLANNING BOARD GRANTS THE FOLLOWING WAIVERS TO THE SITE PLAN REGULATIONS:
  - TO CHAPTER 1, SECTION 1.14L TO ALLOW BUILDINGS TO PENETRATE THE 25-FOOT BUFFER FROM ADJACENT RESIDENTIAL PROPERTIES (UNIT 1)
  - TO SECTION 1.16.D TO REDUCE THE PARKING SPACE WIDTH REQUIREMENT FROM 15' WIDE TO 9' WIDE.
- THIS SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN - PER F.I.R.M. PANEL #330131-0005 B DATED APRIL 15, 1981.
- THIS SITE IS NOT LOCATED WITHIN THE AQUIFER PROTECTION DISTRICT - PER "WATER RESOURCES" FREMONT MASTER PLAN - 1987 MAP WR-1.
- NHDES ALTERATION OF TERRAIN APPROVAL NO. WPS-7026  
 NHDES PUBLIC WATER SUPPLY PROJECT NO. 985137 (WELL APPROVED 12/11/2006)  
 NHDES DREDGE AND FILL PERMIT NO. 2004-02638  
 NHDES SUBSURFACE SEWAGE DISPOSAL APPROVAL NO. CA2006085206-A (RED-5)  
 NHDES SUBDIVISION APPROVAL NUMBER NO. SA2005005887  
 NHDOT CURB CUT PERMIT NO. - SEE SHEET 16 OF THE SUBDIVISION PLAN SET REFERENCED IN NOTE #15.
- THIS SITE PLAN SET IS MEANT TO FURTHER DEVELOP LAND SUBDIVIDED IN A PLAN SET ENTITLED "SUBDIVISION PLAN SET, LAND OF COOPER'S CORNER, LLC" RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN #0-32580.
- THIS PLAN CONTAINS A TOTAL OF 9 SHEETS. THE ENTIRE SET IS ON FILE AT THE TOWN OF FREMONT PLANNING DEPARTMENT. SHEETS 1 AND 3 WILL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- EXISTING TREES OUT OF CONSTRUCTION AREAS SHALL NOT BE CUT.
- IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATIONS.
- THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
- IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- REFER TO SHEET 2 FOR BOUNDARY INFORMATION.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ECM, INC. DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- IN THE EVENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL BE AWARE OF HIS RESPONSIBILITY TO CONTACT "DIG-SAFE" AT 331 MONTVALE AVE., WOBURN, MA. (1-888-344-7233. WWW.DIGSAFE.COM) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.

# COOPERS VILLAGE

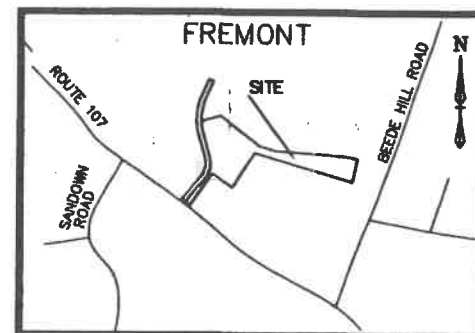
## FREMONT, NEW HAMPSHIRE

### SITE PLAN SET LOT 37-1



**TAX MAP SKETCH  
MAP 3**

SCALE: 1" = 400'



**VICINITY PLAN**

SCALE: 1" = 1000'±

APPROVED BY THE FREMONT, NH  
PLANNING BOARD ON: 12/29/06

CHAIRMAN: *[Signature]*

MEMBER: *[Signature]*

MEMBER: *[Signature]*

MEMBER: *[Signature]*

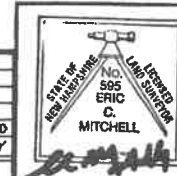
MEMBER: *[Signature]*

MEMBER: *[Signature]*

**SHEET INDEX**

SHEET 1	COVER SHEET
SHEET 2	EXISTING CONDITIONS PLAN
SHEET 3	SITE PLAN
SHEET 4	GRADING PLAN
SHEET 5	UTILITY PLAN
SHEET 6	LANDSCAPE & LIGHTING PLAN
SHEET 7	DETAILS
SHEET 8	SEPTIC PLAN
SHEET 9	OVERVIEW SEPTIC PLAN & DETAIL SHEET

REV.	DATE	DESCRIPTION	BY
A	12/20/06	FINAL	
REVISIONS			

**NOTES CONTINUED**

- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE HIM/HERSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS/HER INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS/HER WORK AT ALL TIMES.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS. NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN.
- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- ALL WORK IS TO CONFORM TO THE TOWN OF FREMONT REGULATIONS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF FREMONT SITE PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- FIRE PROTECTION: THE FIRE STATION IS 0.4 MILES FROM THE SITE. A DRY HYDRANT IS LOCATED 400 FEET FROM LOT 3-37 ON ROUTE 107. A CISTERN WILL ALSO BE PROVIDED 200 FEET FROM LOT 37-3 AS PART OF A PROPOSED RESIDENTIAL SUBDIVISION ON AN ADJUTING PARCEL.
- LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE TOWN ZONING ORDINANCES AND SITE PLAN REGULATIONS AND HAVE THEIR DESIGN APPROVED BY THE FREMONT BUILDING INSPECTOR.
- REFER TO THE PLAN SET MENTIONED IN NOTE 15 FOR THE DESIGN OF THE FIRST 1400 FEET OF SPAULDING ROAD. NOTE THAT THIS SET WAS REVISED FOLLOWING THE ORIGINAL APPROVAL, AND PLANS ARE AVAILABLE AT TOWN HALL.
- NO BARBEQUES SHALL BE ALLOWED UNDER ROOF OVERHANGS.
- THE COVERED WALKWAY IS SUBJECT TO CODE ENFORCEMENT REVIEW.
- THE SITE WILL GENERATE NO OFFSITE NOISE OR ODOR NUISANCE.

**PLAN REFERENCES**

- "LOT LINE ADJUSTMENT PLAN - TAX MAP 3 LOTS 54-1 & 54-1-2 - BEEDE HILL ROAD FREMONT, NH", SCALE: 1"=60', DATED MAY 28, 1998 PREPARED FOR DBL LAND CORP. BY THIS OFFICE, SHEETS 1 AND 2 OF 2.
- "A SURVEY AND PLAT OF A SUBDIVISION PREPARED FOR D.B.L. LAND CORPORATION SITUATED IN THE TOWN OF FREMONT, NH", PREPARED BY R.S.L. LAYOUT & DESIGN, INC., RAYMOND, NH, SCALE: 1"=50', DATED 07/01/96 LAST REVISED 12/11/96 R.C.R.D. PLAN #0-25193.
- "SUBDIVISION & CONSOLIDATION PLAN - PREPARED FOR THE - D.B.L. LAND CORPORATION N.H. ROUTE 107 & BEEDE HILL ROAD - FREMONT, N.H.", SCALE: 1"=200', DATED SEPTEMBER 17, 1984, BY RONALD R. BURD, INC. CIVIL ENGINEERS & LAND SURVEYORS 994 CANDIA ROAD, MANCHESTER, N.H. R.C.R.D. #0-13178.
- "SUBDIVISION AND CONSOLIDATION PLAN FOR - D.B.L. LAND CORPORATION AND SPAULDING & FROST CO., INC. - FREMONT, N.H." PREPARED FOR D.B.L. LAND CORPORATION, SCALE: 1"=200', DATED 9/23/88, LAST REVISED 2/21/89, BY HOLDEN ENGINEERING & SURVEYING, R.C.R.D. #0-19115.
- "PROPERTY LINE SURVEY OF THE LAND OF - PHILLIP E. MCCULLOUGH - IN FREMONT, N.H., LOT # 3-34", PREPARED FOR PHILLIP E. MCCULLOUGH, SCALE: 1"=200', DATED 8/29/77 LAST REVISED 10/27/77, BY DICKSON, HOLDEN AND ASSOCIATES, 214 SOUTH MAIN ST., CONCORD, N.H., R.C.R.D. #0-7506.
- WORKSHEET PREPARED BY RONALD R. BURD, INC. DATED FEB 14, 1995. TOPOGRAPHIC ELEVATIONS BASED ON N.G.V.D. 1927 (U.S.G.S.).
- "COOPERS CORNER, FREMONT, NEW HAMPSHIRE, LOT LINE ADJUSTMENT AND SUBDIVISION PLAN OF LAND" FOR COOPERS CORNER, LLC, PREPARED BY ERIC C. MITCHELL & ASSOC. INC.; DATED SEPTEMBER 8, 2004; R.C.R.D. PLAN #0-32580.
- "COOPERS CORNER, FREMONT, NEW HAMPSHIRE, SITE PLAN OF LAND" FOR COOPERS CORNER, LLC; PREPARED BY ERIC C. MITCHELL & ASSOC. INC.; DATED SEPTEMBER 8, 2004; R.C.R.D. PLAN #0-32821.
- DEED REFERENCE: BOOK 4036, PAGE 1637.

**PRESENT OWNER OF RECORD:**  
LOT 37-1, TAX MAP 3

COOPER'S CORNER, LLC  
328 MAIN ST., UNIT 7A  
FREMONT, NH 03044

**COVER SHEET**

**COOPERS VILLAGE**  
TAX MAP 3 • LOT 37-1  
ROUTE 107  
**FREMONT, N.H.**

PREPARED FOR  
**COOPERS CORNER, LLC**  
328 MAIN ST., UNIT 7A, FREMONT, NH 03044

MAY 25, 2006  
SCALE: AS NOTED

PREPARED BY  
**ERIC C. MITCHELL & ASSOC. INC.**  
PLANNING - ENGINEERING - SURVEYING - ENVIRONMENTAL  
P.O. BOX 10298, 55 SO. RIVER RD., BEDFORD N.H. 03110-0298  
PH. (603) 627-1181

SHEET 1 OF 9

REV. DWG. 5-9804SITE FLD. BK./PG. JOB NO. (5)28-

D-34410 sheet 1 of 2

EXCLUSIONARY USES

IN NO CASE WILL THE PROPOSED RETAIL AND COMMERCIAL SPACES INCLUDE THE FOLLOWING:  
1. ANY USE THAT PRODUCES EXCESSIVE SMOKE, SOOT, NOISE OR HAZARDOUS WASTE.  
2. ANY ADULT USES (TOPLESS BAR, ADULT BOOK STORE, ETC.)  
3. ANY LAUNDROMAT USES.  
4. ONLY LOW-HAZARD USES WILL BE ALLOWED (1 HOUR, 2 HOUR FIRE RATINGS)  
ALL CONDOMINIUM USES ARE SUBJECT TO SITE REVIEW BY THE TOWN BUILDING INSPECTOR AND PLANNING BOARD.

USAGE AREAS

LOT #	PARCEL AREA	"NATURAL STATE" AREA	WETLAND AREA	RECREATION AREA	USED AREA
37-1	10.80 AC.	5.15 AC.	3.58 AC.	0.03 AC.	5.65 AC.

ZONING NOTES

LOT 37-1: 33,798 S.F. OF RETAIL SPACE WITH THREE RESIDENTIAL UNITS  
REQUIRED ROAD FRONTAGE = 200' + (20' x 3 UNITS) = 280.00'  
PROVIDED ROAD FRONTAGE = 1040.72'  
REQUIRED LOT SIZE = 2.00 ACRES + (12,000 S.F. x 3 UNITS) = 2.83 ACRES  
PROVIDED LOT SIZE = 10.80 ACRES  
FRONT SETBACK = 50' + (5' x 3 UNITS) = 65'  
SIDE AND REAR SETBACK = 30' + (10' x 3 UNITS) = 60'

NOTES

- SEE SHEET 1 FOR NOTES, OWNER'S SIGNATURE, PLAN REFERENCES, VICINITY PLAN, AND TAX MAP SKETCH.
- DEED REFERENCE IS BK-4039 PG.1637 IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- PARKING CALCULATIONS:  
RETAIL FIRST FLOOR:  
RESTAURANT: 50 SEATS @ 1 SP/4 SEATS PLUS 1 PER WINDOW STATION = 12.5 + 1 SPACES = 13.5 SPACES  
RESTAURANT: 50 SEATS @ 1 SP/4 SEATS = 12.5 SPACES  
RESTAURANT: 50 SEATS @ 1 SP/4 SEATS = 12.5 SPACES  
CONVENIENCE STORE & PHARMACY: 3050 S.F. @ 1 SP/200 S.F. = 15.3 SPACES  
EXERCISE GYM: 3050 S.F. @ 1 SP/200 S.F. = 15.3 SPACES  
DAYCARE CENTER: 3050 S.F. @ 1 SP/200 S.F. = 15.0 SPACES  
MEDICAL OFFICES: 3015 S.F. @ 1 SP/150 S.F. = 20.1 SPACES  
PERSONAL & BUSINESS SERVICES: 3015 S.F. @ 1 SP/300 S.F. = 10.1 SPACES  
BANK: 3210 S.F. @ 1 SP/200 S.F. = 16.1 SPACES  
APARTMENTS SECOND FLOOR:  
3 UNITS x 1.5 SP/UNIT = 4.5 SP  
PROFESSIONAL OFFICE SPACE SECOND FLOOR:  
(5 UNITS x 1580 S.F.) + 1580 S.F. @ 1 SP/250 S.F. = 36.4 SPACES  
TOTAL: 13.5+12.5+12.5+15.3+15.3+15.0+20.1+10.1+16.1+4.5+36.4 = 174.3 SPACES REQUIRED (USE 175)  
(REQUIREMENTS TAKEN FROM TOWN OF BOW REGULATIONS; FREMONT HAS NO PARKING CALCULATION IN THE SITE PLAN REGULATIONS)
- HOURS OF OPERATION: 5 AM TO 12 PM.
- HOURS OF CONSTRUCTION: 7AM TO 7 PM (MON-SAT)  
NO SUNDAY CONSTRUCTION ALLOWED

PROPOSED USES

- UNIT 1: BUILDING 2844 S.F. LIGHT MANUFACTURING
- UNIT 14: BUILDING 3280 S.F. DOUGHNUT SHOP (50 SEAT, PAPER SERVE) & 1580 S.F. 1-BR. APARTMENT
- UNIT 15: BUILDING 3050 S.F. ITALIAN RESTAURANT (50 SEAT) & 1580 S.F. 1-BR. APARTMENT
- UNIT 16: BUILDING 3050 S.F. CHINESE RESTAURANT (50 SEAT) & 1580 S.F. 1-BR. APARTMENT
- UNIT 17: BUILDING 3050 S.F. CONVENIENCE STORE / PHARMACY & 1580 S.F. PROF. OFFICE
- UNIT 18: BUILDING 3050 S.F. EXERCISE GYM (50 PERSON) & 1580 S.F. PROF. OFFICE
- UNIT 19: BUILDING 3000 S.F. DAYCARE CENTER (50 CHILDREN) & 1580 S.F. PROF. OFFICE
- UNIT 20: BUILDING 3015 S.F. DOCTOR / DENTISTS OFFICE & 1580 S.F. PROF. OFFICE
- UNIT 21: BUILDING 3015 S.F. ACCOUNTANT / INSURANCE & 1580 S.F. PROF. OFFICE
- UNIT 22: BUILDING 3210 S.F. BANK & 1580 S.F. PROF. OFFICE

SITE PLAN

COOPERS VILLAGE  
TAX MAP 3 • LOT 37-1  
ROUTE 107  
FREMONT, N.H.

PREPARED FOR  
COOPERS CORNER, LLC  
328 MAIN ST., UNIT 7A, FREMONT, NH 03044

MAY 25, 2008

SCALE: 1" = 50'

ERIC C. MITCHELL & ASSOC. INC.  
PLANNING - ENGINEERING - SURVEYING - ENVIRONMENTAL  
P.O. BOX 10298, 55 SO. RIVER RD., BEDFORD N.H. 03110-0298  
PH. (603) 627-1181  
SHEET 3 OF 8

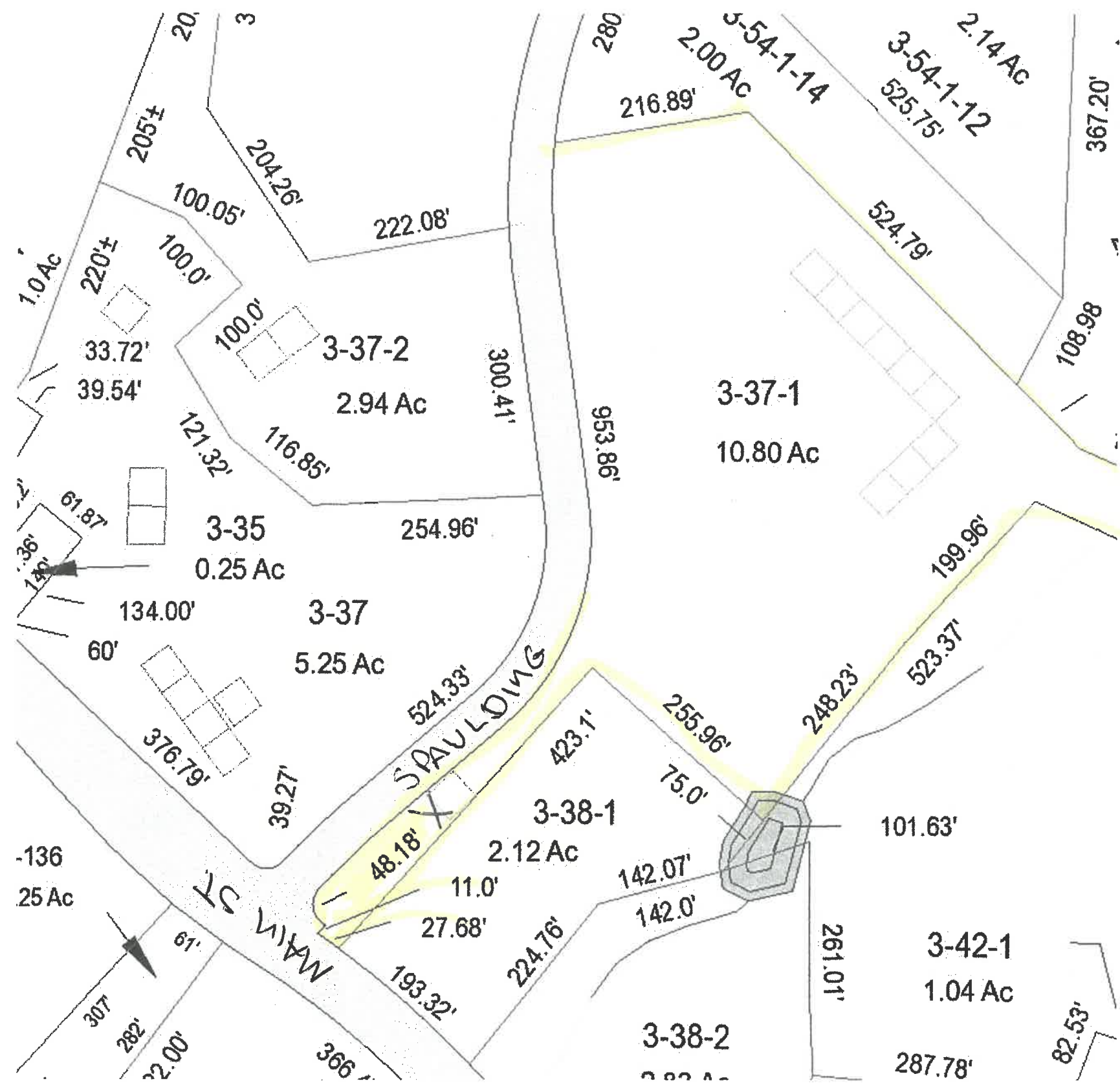
APPROVED BY THE FREMONT, NH  
PLANNING BOARD ON: 12/30/06

CHAIRMAN: [Signature]  
MEMBER: [Signature]  
MEMBER: [Signature]  
MEMBER: [Signature]  
MEMBER: [Signature]

REV.	DATE	DESCRIPTION	BY
A	12/20/06	FINAL	BAD
REVISIONS			

D-34410 sheet 2 of 2





## USAGE AREAS

LOT #	NEW AREA	"NATURAL STATE" AREA	WETLAND AREA	RECREATION AREA	USED AREA
37	5.25 AC.	0.88 AC.	0.48 AC.	0.53 AC.	4.59 AC.
37-1	10.80 AC.	5.15 AC.	3.58 AC.	0.03 AC.	5.85 AC.
37-2	2.94 AC.	0.17 AC.	-	0 AC.	2.77 AC.
37-3	5.32 AC.	0.37 AC.	-	0 AC.	4.95 AC.

## EXCLUSIONARY USES

IN NO CASE WILL THE PROPOSED RETAIL AND COMMERCIAL SPACES INCLUDE THE FOLLOWING:

1. ANY USE THAT PRODUCES EXCESSIVE SMOKE, SOOT, NOISE OR HAZARDOUS WASTE.
2. ANY ADULT USES (TOPLESS BAR, ADULT BOOK STORE, ETC.)
3. ANY LAUNDROMAT USES
4. ONLY LOW-HAZARD USES WILL BE ALLOWED (1 HOUR, 2 HOUR FIRE RATINGS)

ALL CONDOMINIUM USES ARE SUBJECT TO SITE REVIEW BY THE TOWN BUILDING INSPECTOR AND PLANNING BOARD.

## NOTES

1. SEE SHEET 1 FOR NOTES, OWNER'S SIGNATURE, PLAN REFERENCES, MOITY PLAN, AND TAX MAP SKETCH. SEE SHEET 5 FOR LOT CHARACTERISTICS.
2. THIS DEVELOPMENT WILL BE CONDOMINIUMIZED INTO FOUR ASSOCIATIONS:  
A. LOT 37: UNITS 3-10  
B. LOT 37-1: UNIT 1 AND UNITS 14-22  
C. LOT 37-2: UNITS 11, 12, AND 13 (CELL TOWER)  
D. LOT 37-3: UNITS 23-29

3. PARKING CALCULATIONS: 1 SP./1,000 S.F. + 1.5 SP./RESIDENTIAL UNIT  
(62,838 S.F./1,000 S.F.) + (9 UNITS x 1.5 SP.)  
= 62.9 + 13.5 = 76.4 SPACES

TOTAL REQUIRED SPACES (MANUFACTURING)  
= 77 SPACES REQUIRED

(PLUS 35 GRAVEL SPACES)

RETAIL: RESTAURANT: 50 SEATS @ 1 SP/3 SEATS  
PLUS 1 PER EMPLOYEE ON LARGEST SHIFT  
= 18.7 + 10 = 28.7 SPACES

EXERCISE STUDIO: 3250 S.F. @ 1 SP/150 S.F.  
= 21.7 SPACES

BEAUTY SALON: 3250 S.F. @ 1 SP/250 S.F.  
= 13 SPACES

CONVENIENCE STORE & PHARMACY: 3250 S.F. @ 1 SP/200 S.F.  
= 16.3 SPACES

EXERCISE GYM: 3250 S.F. @ 1 SP/150 S.F. = 21.7 SPACES

DAYCARE CENTER: 10 EMPLOYEES @ 2 SP/EMPLOYEE  
= 20 SPACES

MEDICAL OFFICES: 3250 S.F. @ 1 SP/250 S.F.  
= 13 SPACES

PROFESSIONAL OFFICES: 3250 S.F. @ 1 SP/250 S.F.  
= 13 SPACES

PROFESSIONAL OFFICES: 3250 S.F. @ 1 SP/200 S.F.  
= 16.3 SPACES

APARTMENTS: 3 UNITS x 1.5 SP/UNIT = 4.5 SP

PROFESSIONAL OFFICES: 6 UNITS x 1500 S.F. x 1 SP/500 S.F.  
= 18 SP

PROFESSIONAL OFFICES: 6 UNITS x 1500 S.F. x 1 SP/500 S.F.  
= 18 SP

TOTAL REQUIRED SPACES (RETAIL)  
= 181 SPACES REQUIRED

181 SPACES PROPOSED

TOTAL SPACES REQUIRED: 77 + 181 = 258 SPACES

TOTAL PROPOSED PARKING SPACES SHOWN = 258 SPACES  
(PLUS ADDITIONAL 35 GRAVEL SPACES)

4. HOURS OF OPERATION: 8 AM TO 12 PM

5. HOURS OF CONSTRUCTION: 7AM TO 7 PM (MON-SAT)  
NO SUNDAY CONSTRUCTION ALLOWED

## PROPOSED USES

- |   |   |
|---|---|
| UNIT 1: EXISTING BUILDING<br>PROPOSED 2844 S.F.<br>LIGHT MANUFACTURING  | UNIT 18: PROPOSED BUILDING<br>PROPOSED 3378 S.F.<br>EXERCISE GYM                  |
| UNIT 2: EXISTING BUILDING<br>PROPOSED 2225 S.F.<br>LIGHT MANUFACTURING  | UNIT 19: PROPOSED BUILDING<br>PROPOSED 3378 S.F.<br>DAYCARE CENTER                |
| UNIT 3: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING  | UNIT 20: PROPOSED BUILDING<br>PROPOSED 3334 S.F.<br>DOCTOR & DENTISTS OFFICE      |
| UNIT 4: EXISTING BUILDING<br>PROPOSED 2075 S.F.<br>LIGHT MANUFACTURING  | UNIT 21: PROPOSED BUILDING<br>PROPOSED 3334 S.F.<br>ACCOUNTANT & INSURANCE OFFICE |
| UNIT 5: EXISTING BUILDING<br>PROPOSED 2034 S.F.<br>LIGHT MANUFACTURING  | UNIT 22: PROPOSED BUILDING<br>PROPOSED 3370 S.F.<br>CHIROPRACTOR & GENERAL OFFICE |
| UNIT 6: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING  | UNIT 23: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING           |
| UNIT 7: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING  | UNIT 24: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING           |
| UNIT 8: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING  | UNIT 25: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING           |
| UNIT 9: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING  | UNIT 26: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING           |
| UNIT 10: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING | UNIT 27: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING           |
| UNIT 11: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING | UNIT 28: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING           |
| UNIT 12: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING | UNIT 29: PROPOSED BUILDING<br>PROPOSED 3250 S.F.<br>LIGHT MANUFACTURING           |
| UNIT 13: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING |   |
| UNIT 14: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING |   |
| UNIT 15: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING |   |
| UNIT 16: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING |   |
| UNIT 17: EXISTING BUILDING<br>PROPOSED 3322 S.F.<br>LIGHT MANUFACTURING |   |

## SITE PLAN

**COOPERS CORNERS**  
TAX MAP 3 • LOTS 37, 37-1  
ROUTE 107  
**FREMONT, N.H.**

PREPARED FOR  
**COOPER'S CORNER, LLC**  
326 MAIN ST., UNIT 7A, FREMONT, NH 03044

OCTOBER 8, 2004

SCALE: 1" = 50'

PREPARED BY

**ERIC C. MITCHELL & ASSOC. INC.**  
PLANNING - ENGINEERING - SURVEYING - ENVIRONMENTAL  
P.O. BOX 10298, 55 SO. RIVER RD., BEDFORD N.H. 03110-0298  
PH. (603) 627-1181

SHEET 4 OF 18

REV. F DWG. 5-9804 SITE (LD. BK/PG. JOB NO. 5798-04)

## LEGEND

STONE BOUND FOUND  
IRON PIN FOUND  
DRILL HOLE SET OR FOUND  
IRON PIN/DRILL HOLE TO BE SET  
GRANITE BOUND TO BE SET  
ELEVATION BENCHMARK  
WATER VALVE  
EXIST. DRAINAGE AND CATCH BASIN  
PROPOSED DRAINAGE/ CATCH BASIN  
PROP DRAIN MANHOLE  
PROP MORTAR RUBBLE WALL  
GUY WIRE

UTILITY POLE AND LINE  
PROPOSED SEWER MANHOLE  
PROP DRY HYDRANT  
BUILDING SETBACK LINE  
EXISTING EDGE OF PAVEMENT  
PROPOSED EDGE OF PAVEMENT  
PROPOSED CURB  
PROPOSED SIGN

EDGE OF WET  
EXISTING TREELINE  
PROPOSED TREELINE  
RIPRAP

BUILDING  
HANDICAP PARKING  
PROPOSED TRAFFIC FLOW  
SLOPE EASEMENT  
DRAINAGE EASEMENT

REV.	DATE	DESCRIPTION	BY
F	4/27/05	FINAL REVISIONS	BAD
E	3/07/05	REVISIONS PER REVIEW COMMENTS	BAD
D	2/15/05	REVISIONS PER TOWN COMMENTS	BAD
C	2/7/05	REVISIONS PER SEPTIC DESIGNS	BAD
B	1/12/05	REVISIONS PER COMMENTS	BAD

## REVISIONS

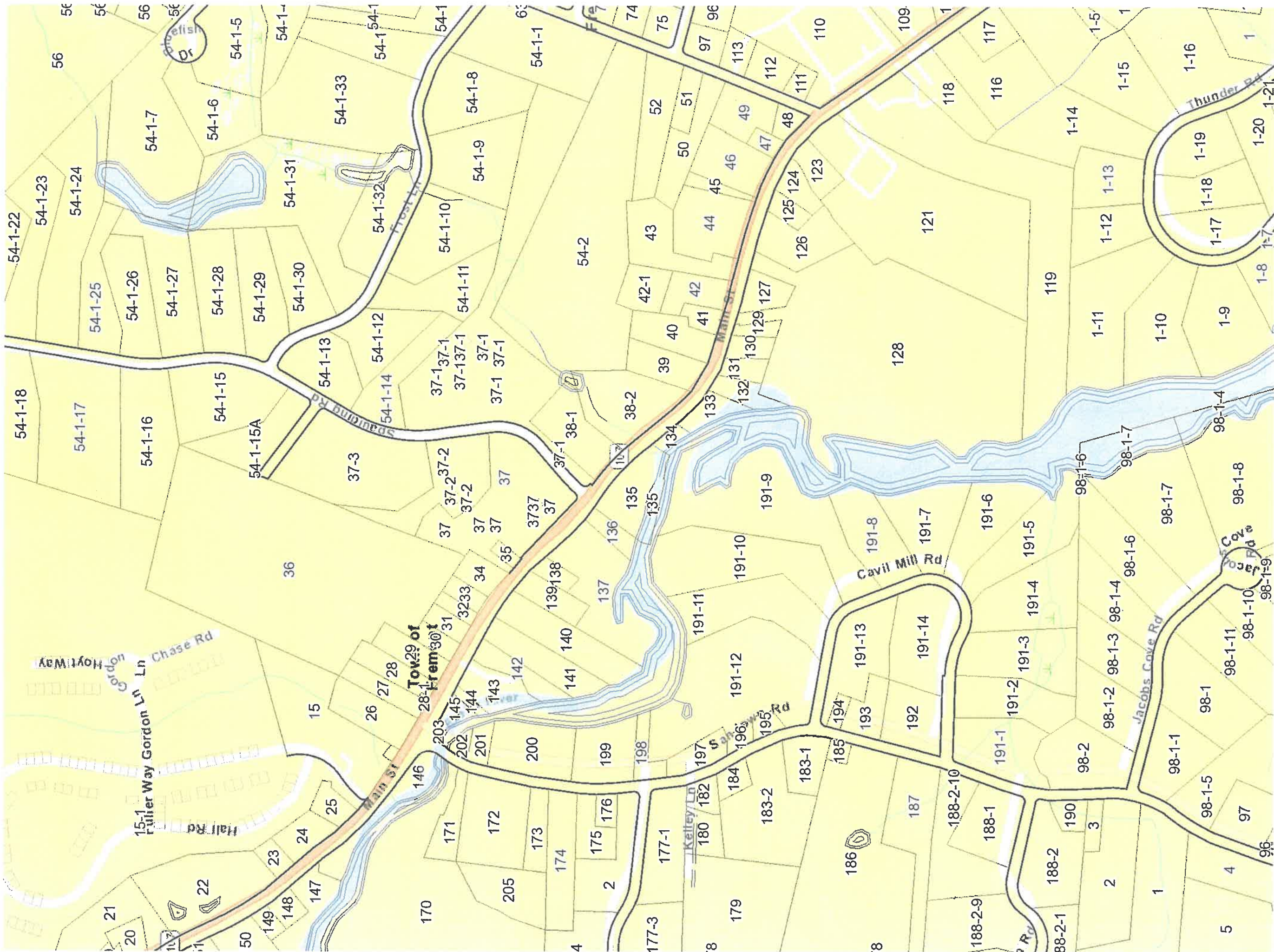
**D-32621** Sheet 1 of 2













# COOPERS VILLAGE CONDOMINIUM FREMONT, NEW HAMPSHIRE CONDOMINIUM PLAN SET LOT 37-1

## NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW LOT 3-37-1, WHICH IS A RETAIL AND OFFICE CONDOMINIUM, WITH THREE APARTMENTS INCLUDED. IT IS A PORTION OF THE SUBDIVISION OF COOPER'S CORNERS, WHICH WAS APPROVED BY THE TOWN OF FREMONT IN 2003.
2. THIS LOT IS TO BE SERVED BY AN ON-LOT WATER WELL AND AN ON LOT SEPTIC SYSTEM.
3. REFERENCE IS HEREBY MADE TO THE DECLARATION OF EASEMENTS AND RESTRICTIONS FOR THE CONDOMINIUM ASSOCIATION, WHICH WILL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
4. THE CONTRACTOR, OWNER, AND ALL OTHERS SHALL BE AWARE OF THEIR HIS RESPONSIBILITY TO CONTACT "DIG-SAFE" AT 331 MONTVALE AVE., WOBURN MA. (1-800-344-7233) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.
5. UNIT GROSS FLOOR AREAS ARE AS FOLLOWS:  
UNIT 1: BUILDING 2844 S.F.  
UNIT 14: BUILDING 3260 S.F.  
& 1950 S.F. PROF. OFFICE  
UNIT 15: BUILDING 3050 S.F.  
& 1580 S.F. PROF. OFFICE  
UNIT 16: BUILDING 3050 S.F.  
& 1580 S.F. PROF. OFFICE  
UNIT 17: BUILDING 3050 S.F.  
& 1580 S.F. PROF. OFFICE  
UNIT 18: BUILDING 3050 S.F.  
& 1580 S.F. PROF. OFFICE  
UNIT 19: BUILDING 3000 S.F.  
& 1580 S.F. PROF. OFFICE  
UNIT 20: BUILDING 3015 S.F.  
& 1580 SF 1-BR APARTMENT  
UNIT 21: BUILDING 3015 S.F.  
& 1580 SF 1-BR APARTMENT  
UNIT 22: BUILDING 3210 S.F.  
& 1580 SF 1-BR APARTMENT
6. THE APPROVED SITE PLAN SET IS ON FILE AT THE FREMONT TOWN HALL. THIS SET INCLUDES GRADING, DRAINAGE, SEPTIC SYSTEM, SITE LAYOUT AND ADDITIONAL NOTES.

## PLAN REFERENCES

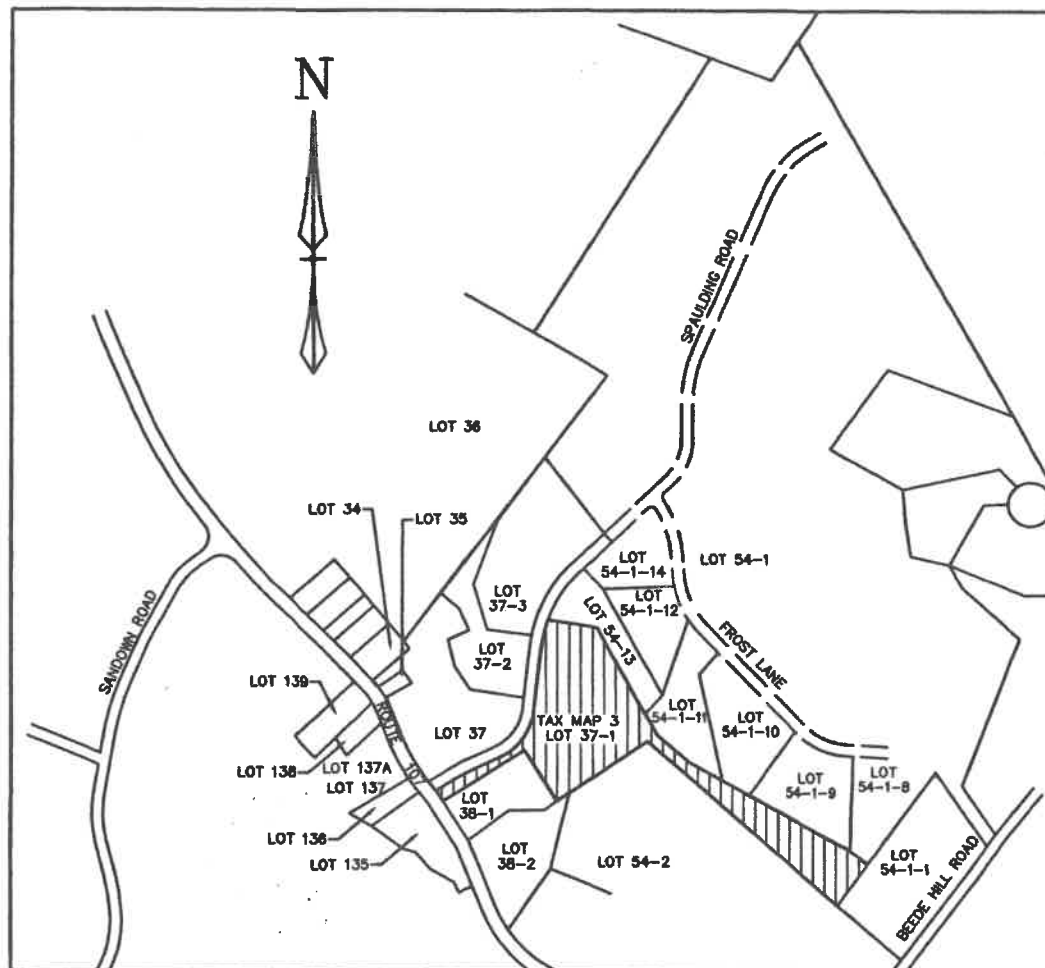
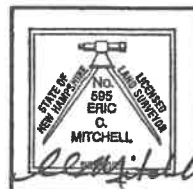
1. "COOPER'S VILLAGES FREMONT, NEW HAMPSHIRE SITE PLAN SET," TAX MAP 3 LOTS 37 & 37-1 ROUTE 107 FREMONT, N.H. PREPARED FOR COOPER'S CORNER, LLC 326 MAIN ST., UNIT 7A, FREMONT, NH 03044 OCTOBER 8, 2004 BY THIS OFFICE. RECORDED AT R.C.R.D. PLAN D-32621, SHEETS 1 & 2 OF 2.
2. "LOT LINE ADJUSTMENT AND SUBDIVISION PLAN OF LAND, COOPER'S VILLAGES, TAX MAP 3 LOTS 37, 38-1, 54-1, ROUTE 107, FREMONT, NH., DATED SEPTEMBER 8, 2004 SCALE: 1" = 200'. PREPARED BY THIS OFFICE. RECORDED AT R.C.R.D. PLAN D-32580, SHEETS 1 - 4 OF 4.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

Eric C. Mitchell 10/18/06  
ERIC C. MITCHELL L.L.S. 595 DATE

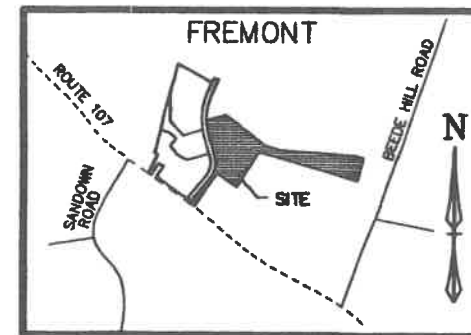
I HEREBY CERTIFY THAT THE IMPROVEMENTS SHOWN HEREON ACCURATELY REPRESENT THE "AS-BUILT" DIMENSIONS OBTAINED FROM AN ACTUAL FIELD SURVEY THAT THIS PLAN COMPLIES WITH THE PROVISIONS OF RSA 356-B:20, 1, II AND VI, AND THAT ALL UNITS SHOWN AS "COMPLETE" HAVE BEEN SUBSTANTIALLY COMPLETED.

Eric C. Mitchell 10/18/06  
ERIC C. MITCHELL L.L.S. 595 DATE



TAX MAP SKETCH  
MAP 3

SCALE: 1" = 400'



VICINITY PLAN

SCALE: 1" = 1000'

## SHEET INDEX

SHEET 1 OF 4	COVER SHEET
SHEET 2 OF 4	LOT 3-37-1 CONDOMINIUM SITE PLAN
SHEET 3 OF 4	LOT 3-37-1 CONDOMINIUM SITE PLAN
SHEET 4 OF 4	UNIT 1 ELEVATION & FLOORPLANS

## COVER SHEET

COOPERS VILLAGE  
CONDOMINIUM  
TAX MAP 3 LOT 37-1  
ROUTE 107  
FREMONT, N.H.

PREPARED FOR:  
COOPER'S CORNER, LLC  
326 MAIN ST., UNIT 7A, FREMONT, NH 03044

MARCH 24, 2006

SCALE: AS NOTED

PREPARED BY:  
ERIC C. MITCHELL & ASSOC. INC.  
PLANNING - ENGINEERING - SURVEYING - ENVIRONMENTAL  
P.O. BOX 10298, 55 SO. RIVER RD., BEDFORD N.H. 03110-0298  
PH. (603) 827-1181

REV.	DATE	DESCRIPTION	BY
B	10/18/2006	ATTORNEY COMMENTS	PRC
A	7-24-06	REVISED PER CLIENT COMMENTS	BAD
REV.	DATE	DESCRIPTION	BY

## REVISIONS

SHEET 1 OF 4 REV: B DWG: 5-9804CONDO 37-1 FLD. BK/Pg. JOB NO. (5)98-04

D-34231 sheet 1 of 4





I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

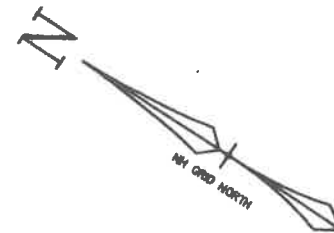
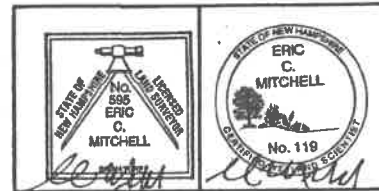
ERIC C. MITCHELL L.L.S. 595

10/18/06  
DATE

I HEREBY CERTIFY THAT THE IMPROVEMENTS SHOWN HEREON ACCURATELY REPRESENT THE "AS-BUILT" DIMENSIONS OBTAINED FROM AN ACTUAL FIELD SURVEY, THAT THIS PLAN COMPLIES WITH THE PROVISIONS OF RSA 356-B:20, I, II AND V, AND THAT ALL UNITS SHOWN AS "COMPLETE" HAVE BEEN SUBSTANTIALLY COMPLETED.

ERIC C. MITCHELL L.L.S. 595

10/18/06  
DATE



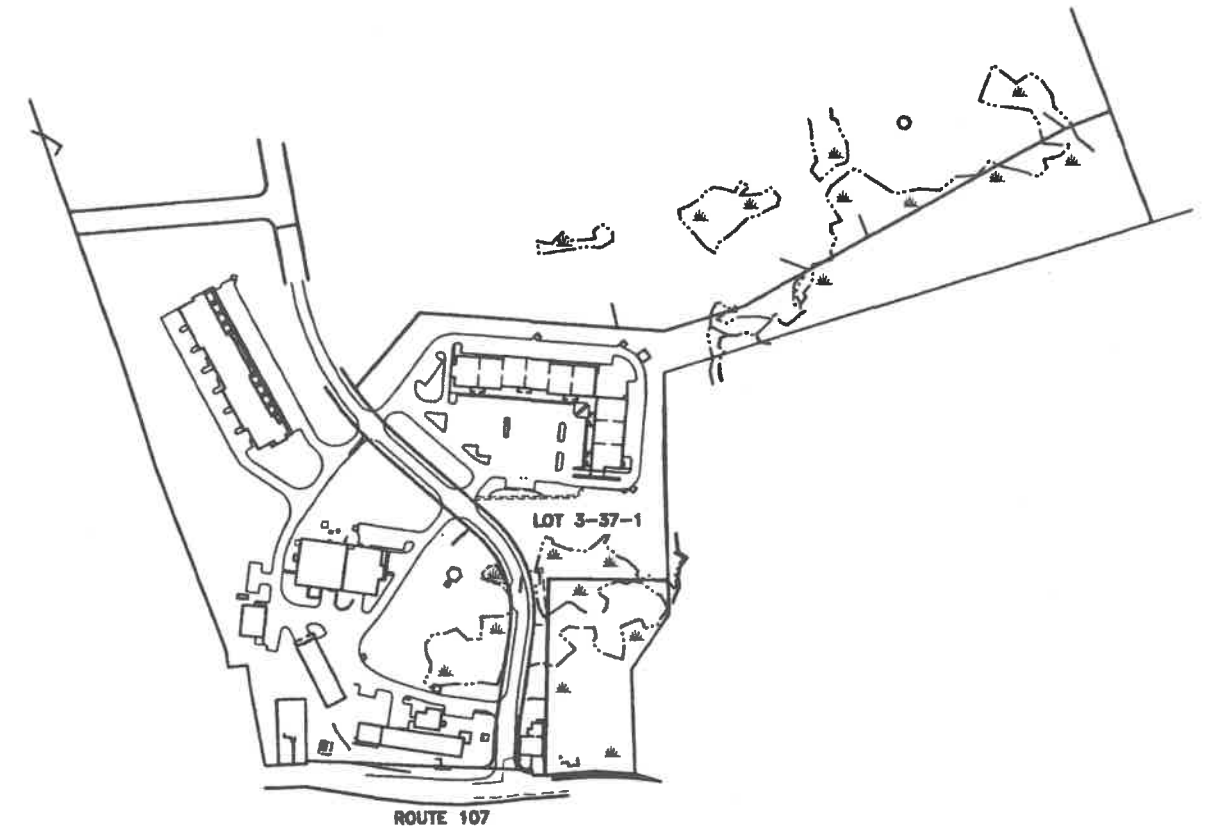
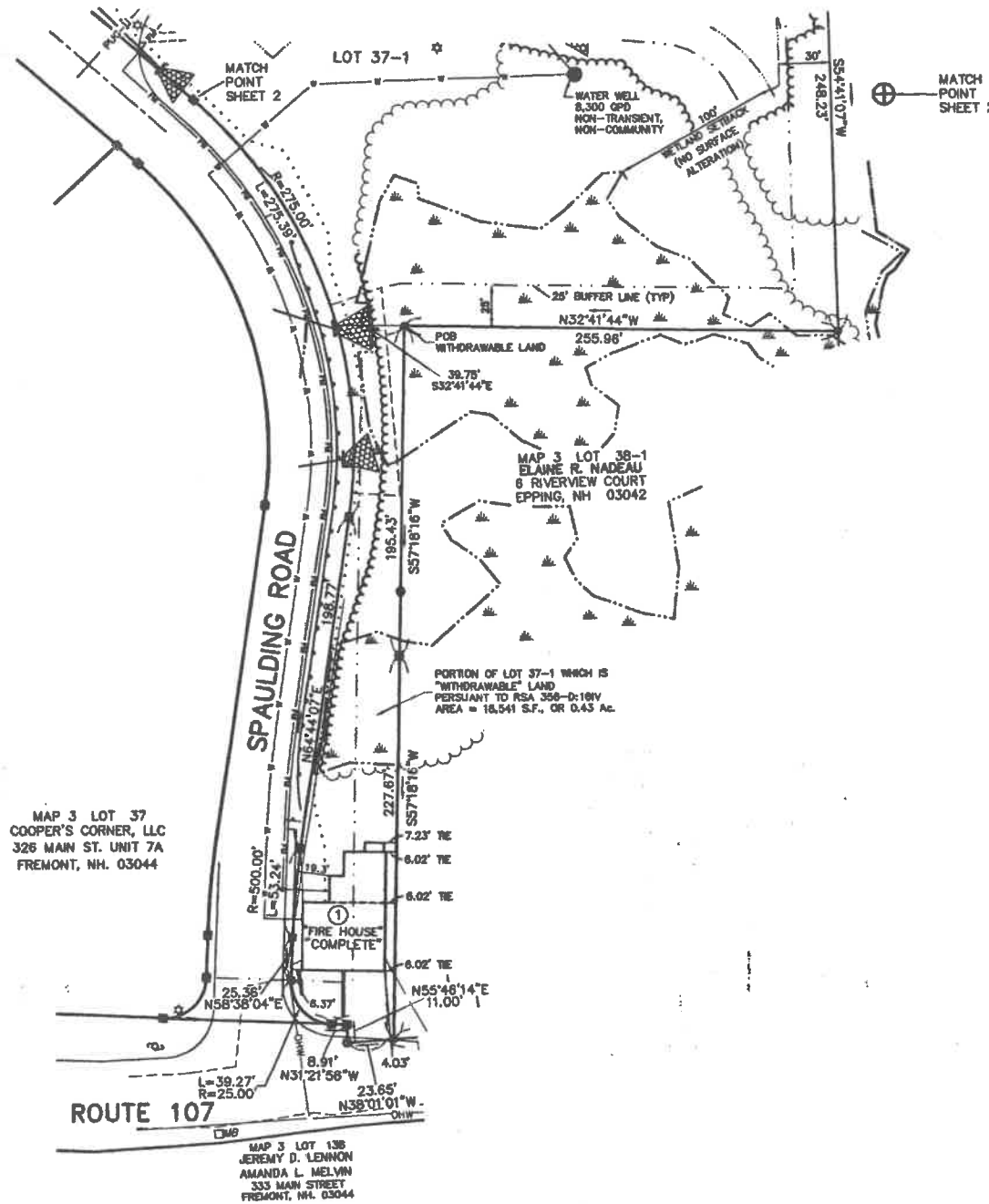
## LIST OF EASEMENTS

EASEMENT TYPE	SIZE	LOCATION	BENEFICIARY
1. SEWER FORCE MAIN	10' WIDE	SPAULDING ROW	LOT 3-37-1
2. SPRINKLER LINE FEED	10' WIDE	LOTS 3-37, 3-37-2	LOT 3-37-1

ALL EASEMENTS ARE CONSIDERED TO BE CENTERED ON THE AS-BUILT LOCATION OF THE IMPROVEMENT

## LEGEND

—●—	STONE BOUND FOUND
—○—	IRON PIN FOUND
—○—	DRILL HOLE SET OR FOUND
—○—	IRON PIN/DRILL HOLE TO BE SET
—○—	GRANITE BOUND TO BE SET
—○—	WATER VALVE
—○—	EXIST. DRAINAGE AND CATCH BASIN
—○—	PROPOSED DRAINAGE/ CATCH BASIN
—○—	PROP DRAIN MANHOLE
—○—	PROP MORTAR RUBBLE HEADWALL
—○—	PROP U.G. CATV, ELEC. & TELEPHONE
—○—	GUY WIRE
—○—	UTILITY POLE AND LINE
—○—	PROPOSED WATER LINE
—○—	PROP DRY HYDRANT
—○—	PROPOSED SPRINKLER WATER LINE
—○—	BUILDING SETBACK LINE
—○—	EXISTING EDGE OF PAVEMENT
—○—	PROPOSED EDGE OF PAVEMENT
—○—	PROPOSED CURB
—○—	PROPOSED SIGN
—○—	EDGE OF WET
—○—	BUILDING
—○—	DRAINAGE EASEMENT
—○—	SLOPE EASEMENT
—○—	PROP WATERLINE
—○—	FORCE MAIN/SEPTIC LINE



## OVERALL SITE PLAN

SCALE: 1" = 200'

## DESCRIPTION OF AREA OF LOT 37-1 WHICH IS WITHDRAWABLE LAND:

BEGINNING AT AN IRON PIN AT THE NORTHERN LOT LINE BETWEEN TAX MAP 3 LOT 37-1 & TAX MAP 3 LOT 38-1, SAID POINT BEING THE POINT OF BEGINNING; THENCE,  
S87°16'16"W A DISTANCE OF 195.43 FEET TO AN IRON PIPE; THENCE,  
S87°16'16"W A DISTANCE OF 227.67 FEET TO AN IRON PIN ON THE EASTERLY SIDE OF NH. STATE ROUTE 107. THE LAST TWO COURSES BEING ALONG SAID TAX MAP 3 LOT 38-1; THENCE,  
N38°01'01"W A DISTANCE OF 23.85 FEET TO AN IRON PIPE; THENCE,  
N55°46'14"W A DISTANCE OF 11.00 FEET TO A POINT; THENCE,  
N31°21'56"W A DISTANCE OF 8.91 FEET TO A POINT AT THE BEGINNING OF THE INTERSECTION OF SAID NH. STATE ROUTE 107 AND SPAULDING ROAD. THE LAST THREE COURSES BEING ALONG SAID NH. STATE ROUTE 107; THENCE,  
NORTHEASTERLY ALONG SAID INTERSECTION ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, A DISTANCE OF 39.27 FEET TO A POINT AT THE END OF THE SAID INTERSECTION OF NH STATE ROUTE 107 AND SPAULDING ROAD; THENCE,  
N58°38'04"E A DISTANCE OF 25.38 FEET TO A POINT; THENCE,  
EASTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 500.00 FEET, A DISTANCE OF 53.24 FEET TO A POINT; THENCE,  
N64°44'07"E A DISTANCE OF 198.77 FEET TO A POINT; THENCE,  
NORTHWESTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 275.00 FEET, A DISTANCE OF 114.56 FEET TO A POINT. THE LAST FOUR COURSES BEING A PORTION OF THE SOUTHERLY RIGHT OF WAY OF SAID SPAULDING ROAD; THENCE,  
S32°41'44"E A DISTANCE OF 39.75 FEET TO THE POINT OF BEGINNING.  
CONTAINING 18,541 S.F. OR 0.43 AC. MORE OR LESS.

CONDOMINIUM SITE PLAN - LOT 3-37-1  
**COOPERS VILLAGE  
CONDOMINIUM**  
TAX MAP 3 • LOT 37-1  
ROUTE 107  
**FREMONT, N.H.**

PREPARED FOR:  
**COOPER'S CORNER, LLC**  
326 MAIN ST., UNIT 7A, FREMONT, NH 03044

MARCH 24, 2008

SCALE: 1" = 50'

PREPARED BY:

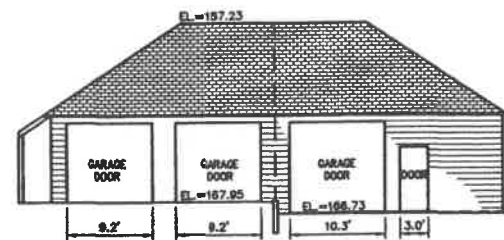
**ERIC C. MITCHELL & ASSOC. INC.**  
PLANNING - ENGINEERING - SURVEYING - ENVIRONMENTAL  
P.O. BOX 10298, 55 SO. RIVER RD., BEDFORD N.H. 03110-0298  
PH. (603) 627-1181

REV.	DATE	DESCRIPTION	BY
B	10/18/2006	ATTORNEY COMMENTS	PRC
A	7-24-06	REVISED PER CLIENT COMMENTS	BAD
REV.	DATE	DESCRIPTION	BY

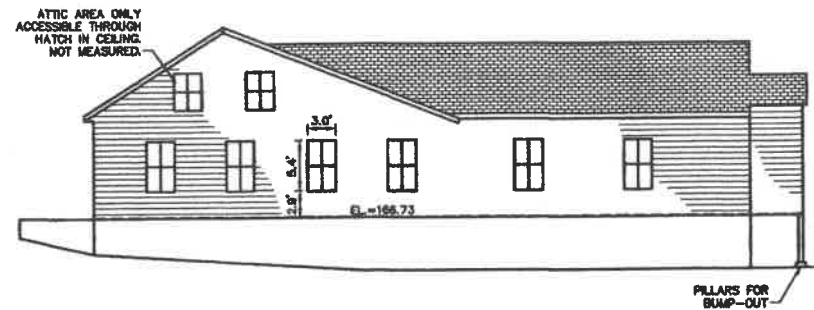
## REVISIONS

SHEET 3 OF 4 REV. B [DWG 5-8804CONDO 37-1] P.D. BK/PD. JOB NO. (5)98-04

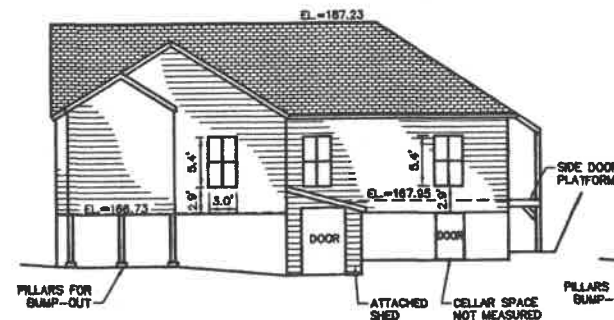
D-34231 sheet 3 of 4



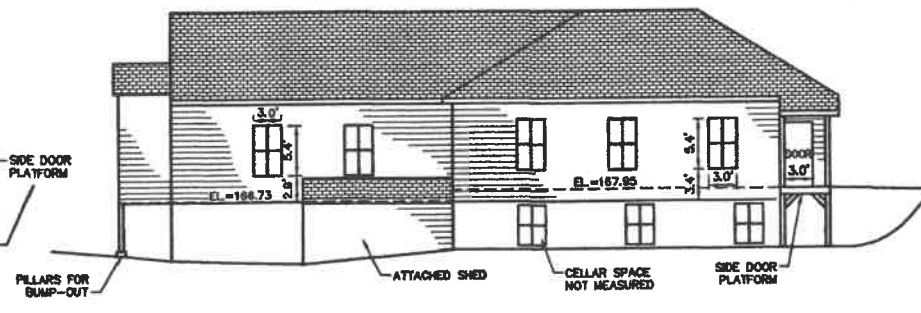
FRONT ELEVATION



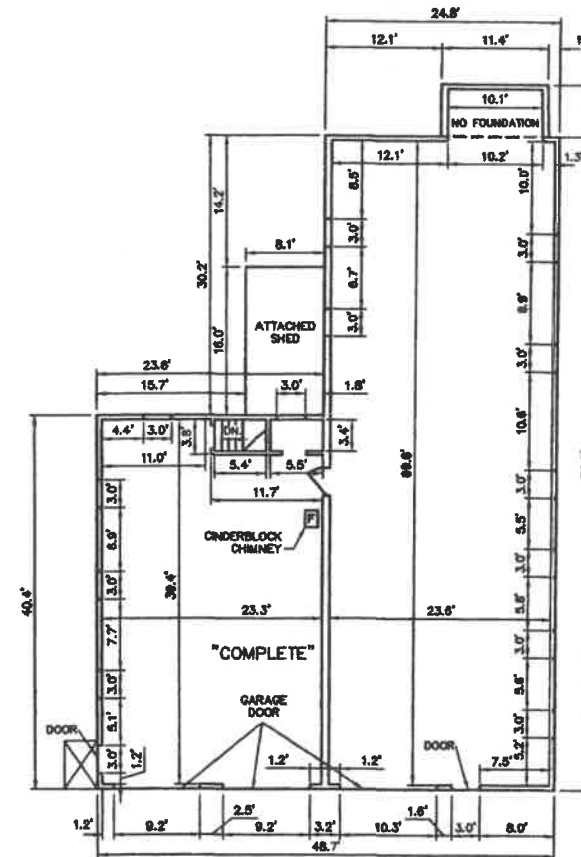
RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



UNIT 1 "FIRE HOUSE" FLOOR PLAN

CONDOMINIUM PLAN - LOT 3-37-1  
UNIT 1 FLOOR PLAN & ELEVATIONS  
**COOPERS VILLAGE**  
CONDOMINIUM  
TAX MAP 3 • LOT 37-1  
ROUTE 107  
**FREMONT, N.H.**  
PREPARED FOR OWNER OF RECORD:  
**COOPERS CORNER, LLC**  
326 MAIN ST., UNIT 7A, FREMONT, NH 03044  
SEE: R.C.R.D. BK. 4039, PG. 1637  
MARCH 24, 2006

SCALE: 1" = 10'

PREPARED BY  
**ERIC C. MITCHELL & ASSOC. INC.**  
PLANNING - ENGINEERING - SURVEYING - ENVIRONMENTAL  
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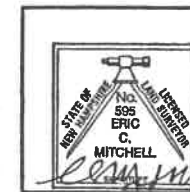
SHEET 4 OF 4  
REV: 8 DWG: 5-98004-FLOOR 37-1 FLD. BK/PG: 404/89 JOB NO. (5)98-04

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION  
PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS  
AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE  
STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW  
WAYS ARE SHOWN.

*Eric C. Mitchell*  
ERIC C. MITCHELL L.L.S. 595 10/18/06  
DATE

I HEREBY CERTIFY THAT THE IMPROVEMENTS SHOWN HEREON  
ACCURATELY REPRESENT THE 'AS-BUILT' DIMENSIONS OBTAINED  
FROM AN ACTUAL FIELD SURVEY, THAT THIS PLAN COMPLIES  
WITH THE PROVISIONS OF RSA 356-B:20, I, II AND V, AND  
THAT ALL UNITS SHOWN AS "COMPLETE" HAVE BEEN  
SUBSTANTIALLY COMPLETED.

*Eric C. Mitchell*  
ERIC C. MITCHELL L.L.S. 595 10/18/06  
DATE



REV.	DATE	DESCRIPTION	BY
8	10/18/2006	ATTORNEY COMMENTS	PRC

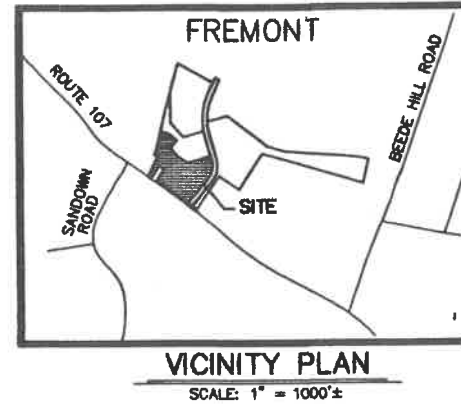
REVISIONS

D-34231 sheet 4 of 4



Parking Easement  
Spots 1-4 on  
lot 37

# COOPERS CORNER, A CONDOMINIUM FREMONT, NEW HAMPSHIRE CONDOMINIUM PLAN SET LOT 37

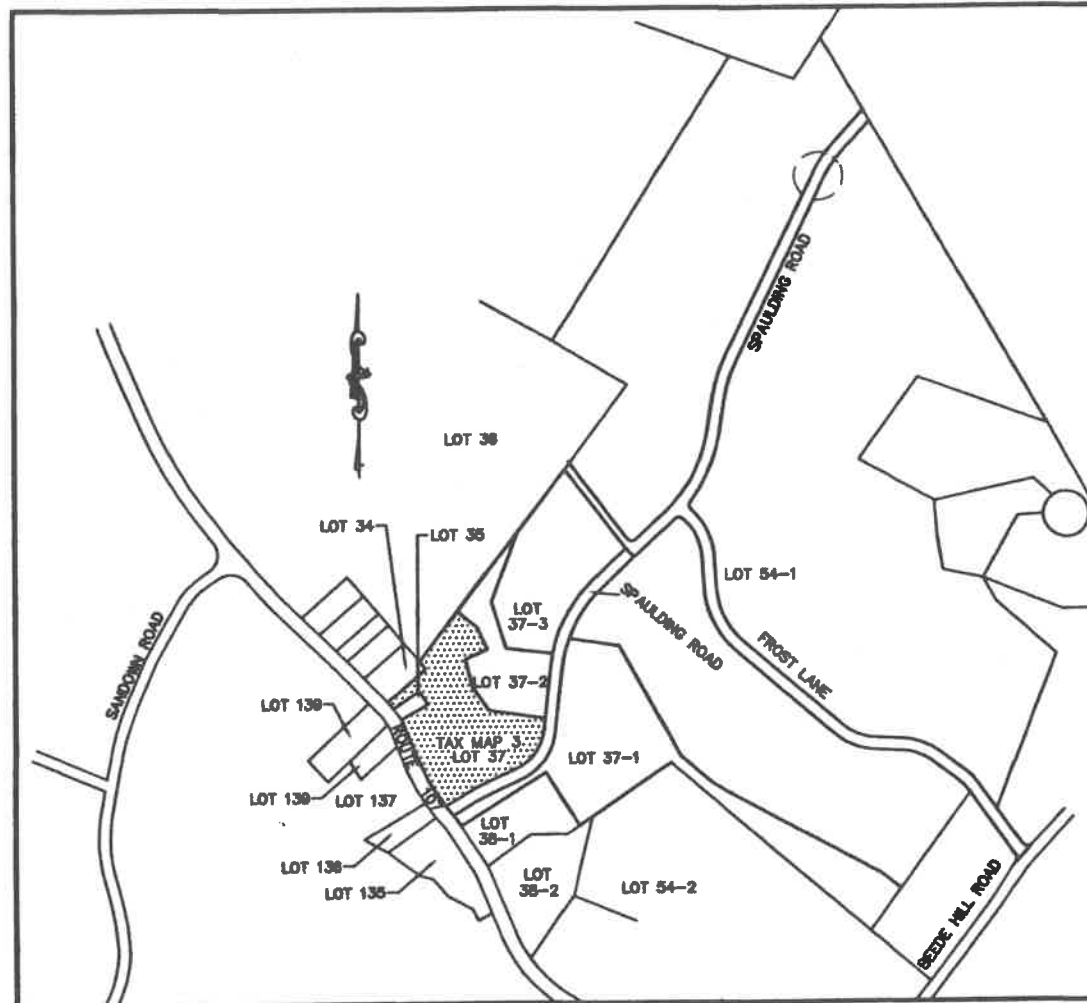


## NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW LOT 3-37, A PORTION OF A CONDOMINIUM DEVELOPMENT FOR COMMERCIAL AND INDUSTRIAL UNITS. LOTS CREATED AND AFFECTED BY THIS CONDOMINIUM PLAN SET MAY INCLUDE LOT 37-1, 37-2, AND 37-3.
2. THIS LOT SHALL BE SERVED BY A WATER WELL FROM LOT 3-37-3 AND TWO SEPTIC SYSTEMS ON LOT 3-37. FURTHERMORE, CROSS-EASEMENTS AS SPECIFIED ON THESE PLANS SHALL BE CREATED TO ALLOW FOR UTILITIES AND ACCESS TO THE LOTS AS DESCRIBED HEREIN.
3. REFERENCE IS HEREBY MADE TO THE DECLARATION OF EASEMENTS AND RESTRICTIONS FOR THE CONDOMINIUM ASSOCIATION, WHICH WILL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
3. THE CONTRACTOR, OWNER, AND ALL OTHERS SHALL BE AWARE OF THEIR HIS RESPONSIBILITY TO CONTACT "DIG-SAFE" AT 111 S. BEDFORD ST., BURLINGTON MA. (1-800-344-7233) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.
4. UNIT GROSS FLOOR AREAS ARE AS FOLLOWS:  
UNIT 3: PROPOSED 2,147 S.F.  
UNIT 4: PROPOSED 2,176 S.F.  
UNIT 5: PROPOSED 2,410 S.F.  
UNIT 6: PROPOSED 2,615 S.F.  
UNIT 7: PROPOSED 2,020 S.F.  
UNIT 8: PROPOSED 3,248 S.F.  
UNIT 9: PROPOSED 3,212 S.F.  
UNIT 10: PROPOSED 3,322 S.F.

## PLAN REFERENCES

1. "COOPERS CORNERS FREMONT, NEW HAMPSHIRE SITE PLAN SET," TAX MAP 3 LOTS 37 & 37-1 ROUTE 107 FREMONT, N.H. PREPARED FOR COOPER'S CORNER, LLC 326 MAIN ST., UNIT 7A, FREMONT, NH 03044 OCTOBER 8, 2004 BY THIS OFFICE. RECORDED AT R.C.R.D. PLAN D-32621, SHEETS 1 & 2 OF 2.
2. "LOT LINE ADJUSTMENT AND SUBDIVISION PLAN OF LAND, COOPERS CORNERS, TAX MAP 3 LOTS 37, 38-1, 54-1, ROUTE 107, FREMONT, NH., DATED SEPTEMBER 8, 2004 SCALE: 1" = 200'. PREPARED BY THIS OFFICE. RECORDED AT R.C.R.D. PLAN D-32580, SHEETS 1 - 4 OF 4.



TAX MAP SKETCH  
MAP 3  
SCALE: 1" = 200'

## SHEET INDEX

SHEET 1 OF 6	COVER SHEET
SHEET 2 OF 6	LOT 3-37 CONDOMINIUM SITE PLAN
SHEET 3 OF 6	CONDOMINIUM PLAN - LOT 3-37 UNITS 3, 4, 5, 6, & 7 FLOOR PLANS
SHEET 4 OF 6	CONDOMINIUM PLAN - LOT 3-37 UNITS 3, 4, 5, 6, & 7 ELEVATIONS
SHEET 5 OF 6	CONDOMINIUM PLAN - LOT 3-37 UNITS 8 & 9 ELEVATIONS & FLOOR PLAN
SHEET 6 OF 6	CONDOMINIUM PLAN - LOT 3-37 UNIT 10 ELEVATIONS & FLOOR PLAN

## COVER SHEET

# COOPERS CORNER CONDOMINIUM TAX MAP 3 LOT 37 ROUTE 107 FREMONT, N.H.

PREPARED FOR  
**COOPER'S CORNER, LLC**  
326 MAIN ST., UNIT 7A, FREMONT, NH 03044  
DECEMBER 2, 2005  
SCALE: AS NOTED

PREPARED BY  
**ERIC C. MITCHELL & ASSOC. INC.**  
PLANNING - ENGINEERING - SURVEYING - ENVIRONMENTAL  
P.O. BOX 10298, 55 SO. RIVER RD., BEDFORD N.H. 03110-0298  
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SHEET 1 OF 6

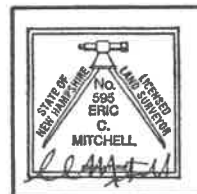
REV. B DWG: 5-8804 CONDO 37 PLO. BK/PG. JOB NO.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION  
PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS  
AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE  
STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW  
WAYS ARE SHOWN.

*Eric C. Mitchell* 12/02/05  
ERIC C. MITCHELL L.L.S. 595 DATE

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ACCURATELY REPRESENT THE 'AS-BUILT' DIMENSIONS OBTAINED  
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ALL UNITS SHOWN AS "COMPLETE" HAVE BEEN SUBSTANTIALLY  
COMPLETED.

*Eric C. Mitchell* 12/02/05  
ERIC C. MITCHELL L.L.S. 595 DATE



REV.	DATE	DESCRIPTION	BY
B	1/11/06	REV. PER ATTORNEY COMMENTS	SRP
A	12/27/05	REV. PER ATTORNEY COMMENTS	BAD
REV.	DATE	DESCRIPTION	BY

## REVISIONS

D-33484

D-22484

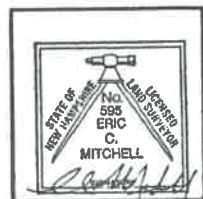


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ERIC C. MITCHELL L.L.S. 595 12/02/05 DATE

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ERIC C. MITCHELL L.L.S. 595 12/02/05 DATE



### LIST OF EASEMENTS

EASEMENT TYPE	SIZE	LOCATION	BENEFICIARY
1. UTILITY (ETC) EASEMENT	10' WIDE	LOT 37	LOT 37-1, 37-2, 37-3, 54.
2. DRAINAGE EASEMENT	10' WIDE	LOT 37	LOT 37-2, 37-3
3. DRIVEWAY ACCESS	22' WIDE	LOT 37	LOT 37-2, 37-3
4. SEPTIC EASEMENT-BED1	IRREGULAR	LOT 37	LOT 37-2
5. SEPTIC EASEMENT-BED2	IRREGULAR	LOT 37	LOT 37-2
6. SEPTIC LINE EASEMENT	10' WIDE	LOT 37	LOT 37-2
7. ACCESS TO UNIT 13	10' WIDE	LOT 37	LOT 37-2
8. WATER (DOMESTIC)	10' WIDE	LOT 37-2	LOT 37
9. WATER (SPRINKLER)	10' WIDE	LOT 37	37-1, -2, 37-3
10. RECREATION AREA	IRREGULAR	LOT 37	37, 37-2, 37-3
11. FIRE POND/DRY HYD.	IRREGULAR	LOT 37	TOWN
12. PARKING SPACES	(4) 9' X 18'	LOT 37	LOT 3-37-1 (UNIT 1)
13. WATER (WELL & LINE)	IRREGULAR	LOT 37-3	LOT 37
14. DRIVEWAY ACCESS	37'-2, 37-3	LOTS 37, 37-2, 37-3	LOTS 37, 37-2, 37-3

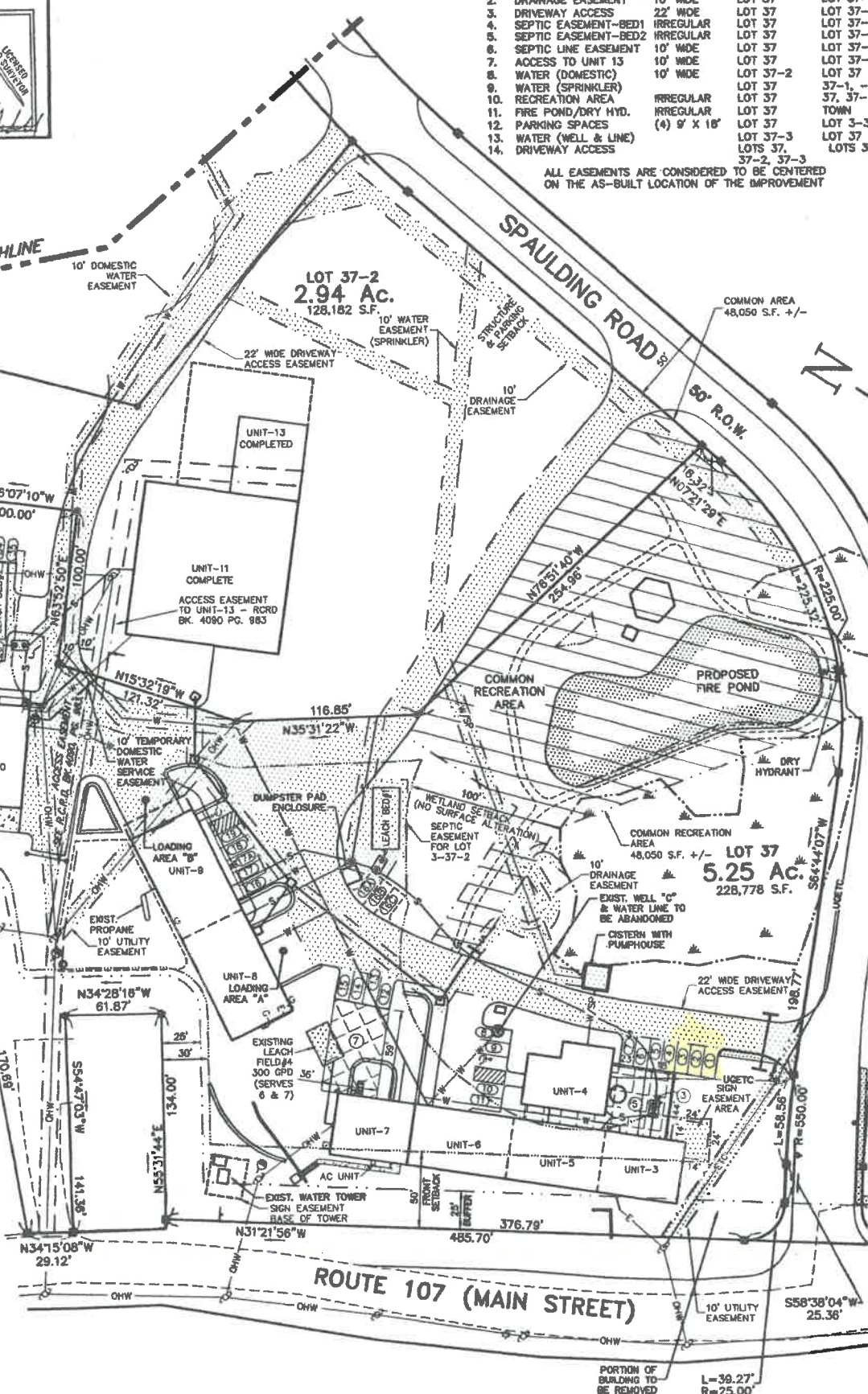
ALL EASEMENTS ARE CONSIDERED TO BE CENTERED ON THE AS-BUILT LOCATION OF THE IMPROVEMENT

### LOT 3-37 STATUS DISCLOSURE:

ITEM	STATUS
WATER WELL "A"-ON LOT 3-37	COMPLETE - TO BE ABANDONED
WATER LINE - FROM WELL "A"	COMPLETE - TO BE ABANDONED
WATER WELL "C"-ON LOT 3-37	COMPLETE - TO BE ABANDONED
WATER LINE - FROM WELL "C"	COMPLETE - TO BE ABANDONED
WATER WELL "B"-ON LOT 3-37-3	NOT YET BEGUN
WATER LINE-FROM LOT 3-37-3	NOT YET BEGUN
WATER LINE-FROM LOT 3-37	NOT YET BEGUN
FOR SPRINKLER SYSTEM	NOT YET BEGUN
UNDERGROUND ELEC & UTILITIES IN SPAULDING ROAD	NOT YET COMPLETE
SEWER LINE TO LEACH BED #1	NOT YET COMPLETE
LEACH BED #1	NOT YET COMPLETE
SEWER LINE TO LEACH BED #2	NOT YET COMPLETE
LEACH BED #2	NOT YET COMPLETE
LEACH FIELD #4	NOT YET COMPLETE
OVERHEAD WIRES TO UNIT 13	NOT YET COMPLETE
OVERHEAD WIRES TO UNIT 11	NOT YET COMPLETE
OVERHEAD WIRES TO UNIT 10	NOT YET COMPLETE
O.H. WIRES RTE. 107 TO SPAULDING RD.	NOT YET COMPLETE
DRAINAGE LINES AND STRUCTURES	NOT YET COMPLETE
PAVED PARKING SPACES	NOT YET COMPLETE
PAVED DRIVEWAYS	NOT YET COMPLETE
PROPOSED LANDSCAPING	NOT YET COMPLETE
CONCRETE PADS AND WALKWAYS	NOT YET COMPLETE
DUMPSTER PADS/ENCLOSURES	NOT YET BEGUN
DRY HYDRANT/FIRE POND	NOT YET BEGUN
CISTERN NEAR UNIT 10	NOT YET BEGUN
CISTERN W/PUMPHOUSE	NOT YET BEGUN
UNIT 8/9 PROPANE TANK	COMPLETE (EXISTING)

### NOTES

- THE PURPOSE OF THIS PLAN IS TO SHOW A CONDOMINIUM DEVELOPMENT FOR EXISTING AND PROPOSED INDUSTRIAL UNITS AND ASSOCIATED EASEMENTS FOR LOT 37.
- SEE SHEETS 3-6 FOR BUILDING PLANS.
- THE LOT IS SERVICED BY A WELL ON LOT 3-37 AND TWO SEPTIC SYSTEMS ON LOT 3-37. A NEW WATER SUPPLY IS PROPOSED FROM LOT 3-37-3 IN ACCORDANCE WITH THIS PLAN.
- ASSIGNED PARKING SPACES:  
UNIT 3: 4 SPACES #5, 6, 34 & 35  
UNIT 4: 4 SPACES #7, 24, 25 & 28  
UNIT 5: 4 SPACES #8 & 9, 27 & 28  
UNIT 6: 4 SPACES #10, 11, 29 & 30  
UNIT 7: 7 SPACES #12 - 15, 16A, 16B, 16C  
UNIT 8: 4 SPACES #16 & 17, 31, 32 & LOADING "A"  
UNIT 9: 4 SPACES #17A, 18, 19, 33 & LOADING "B"  
UNIT 10: 4 SPACES #20 - 23  
UNIT 11: 4 SPACES #1 - 4 (CONDO 3-37-1)
- THE CONTRACTOR, OWNER, AND ALL OTHER SHALL BE AWARE OF THEIR RESPONSIBILITY TO CONTACT "DIG-SAFE" AT 111 S. BEDFORD ST., BURLINGTON MA. (800-344-7233) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.



### LEGEND

- STONE BOUND FOUND
- IRON PIN FOUND
- DRILL HOLE SET OR FOUND
- IRON PIN/DRILL HOLE TO BE SET
- GRANITE BOUND TO BE SET
- WATER VALVE
- EXIST. DRAINAGE AND CATCH BASIN
- PROPOSED DRAINAGE/ CATCH BASIN
- PROP DRAIN MANHOLE
- PROP MORTAR RUBBLE HEADWALL
- PROP U.G. CATV, ELEC, & TELEPHONE
- GUY WIRE
- UTILITY POLE AND LINE
- PROPOSED SEWER AND MANHOLE
- PROPOSED WATER LINE
- PROP DRY HYDRANT
- PROPOSED SPRINKLER WATER LINE
- BUILDING SETBACK LINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED SIGN
- EDGE OF WET
- BUILDING
- DRAINAGE EASEMENT
- AREA RESERVED FOR UNIT NUMBER NOTED
- UTILITY OR DRIVEWAY ACCESS EASEMENT
- COMMON RECREATION AREA (FOR LOTS 37 THRU 37-3 AND THE COOPERAGE FOREST SUBDIVISION)

REV.	DATE	DESCRIPTION	BY
B	1/11/06	REV. PER ATTORNEY COMMENTS	SR
A	12/27/05	REV. PER ATTORNEY COMMENTS	BA
REV.	DATE	DESCRIPTION	BY

CONDOMINIUM SITE PLAN - LOT 3-37  
**COOPERS CORNER CONDOMINIUM**  
TAX MAP 3 • LOT 37  
ROUTE 107  
**FREMONT, N.H.**

PREPARED FOR  
**COOPER'S CORNER, LLC**  
326 MAIN ST., UNIT 7A, FREMONT, NH 03044  
DECEMBER 2, 2005

SCALE: 1" = 50'

PREPARED BY  
**ERIC C. MITCHELL & ASSOC. INC.**  
PLANNING - ENGINEERING - SURVEYING - ENVIRONMENTAL  
P.O. BOX 10298, 55 SO. RIVER RD., BEDFORD N.H. 03110-0298  
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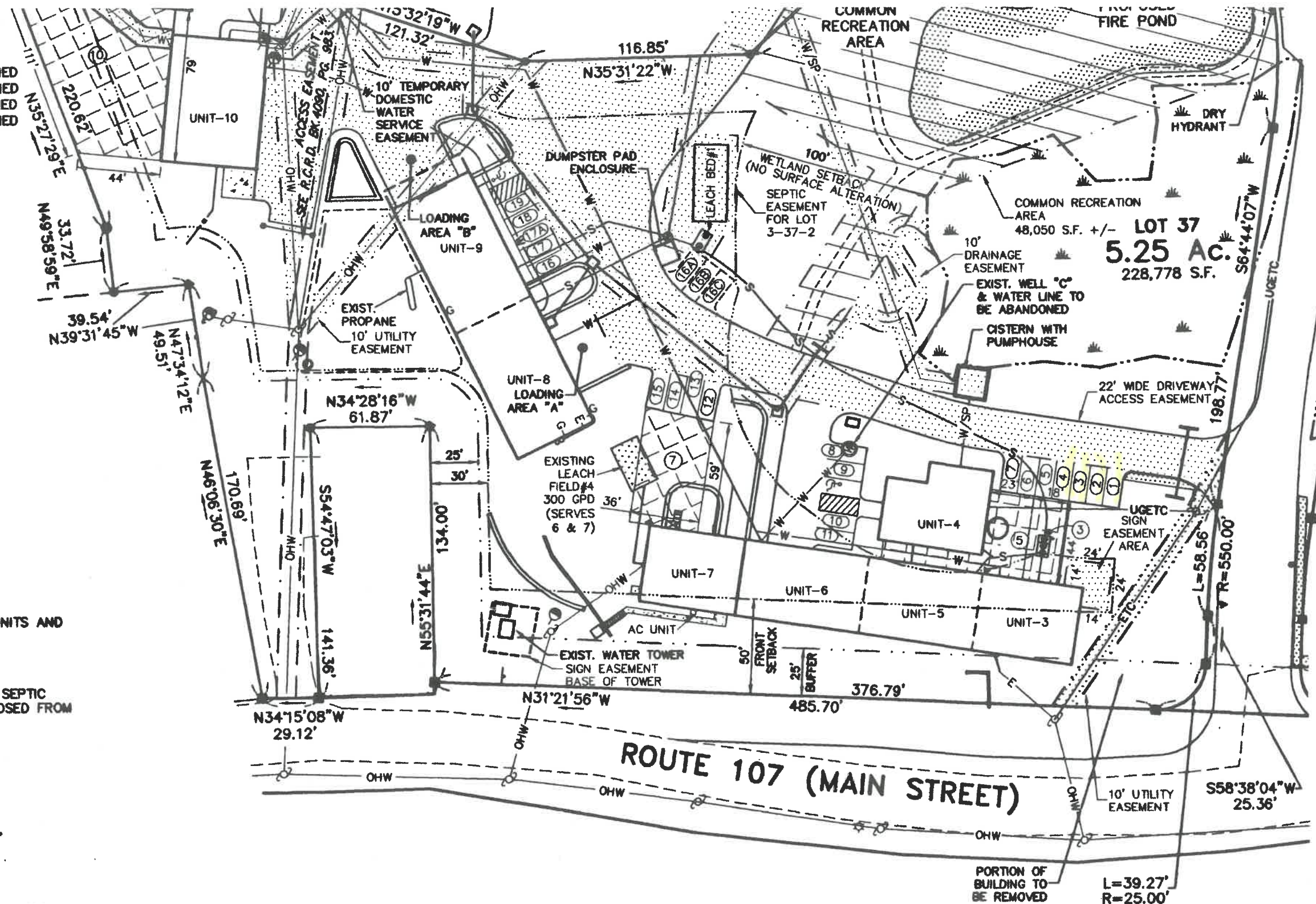
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WATER LINE - FROM WELL "C"	COMPLETE - TO BE ABANDONED
WATER WELL "B"-ON LOT 3-37-3	NOT YET BEGUN
WATER LINE-FROM LOT 3-37-3	NOT YET BEGUN
WATER LINE-FROM LOT 3-37	NOT YET BEGUN
FOR SPRINKLER SYSTEM	NOT YET BEGUN
UNDERGROUND ELEC & UTILITIES IN SPAULDING ROAD	NOT YET COMPLETE
SPAULDING ROAD	NOT YET COMPLETE
SEWER LINE TO LEACH BED #1	NOT YET COMPLETE
LEACH BED #1	COMPLETE
SEWER LINE TO LEACH BED #2	COMPLETE
LEACH BED #2	COMPLETE
LEACH BED #4	COMPLETE
OVERHEAD WIRES TO UNIT 13	COMPLETE
OVERHEAD WIRES TO UNIT 11	COMPLETE
OVERHEAD WIRES TO UNIT 10	COMPLETE
O.H. WIRES RTE. 107 TO SPAULDING RD.	COMPLETE
DRAINAGE LINES AND STRUCTURES	NOT YET COMPLETE
PAVED PARKING SPACES	NOT YET COMPLETE
PAVED DRIVEWAYS	NOT YET COMPLETE
PROPOSED LANDSCAPING	NOT YET COMPLETE
CONCRETE PADS AND WALKWAYS	NOT YET COMPLETE
DUMPSTER PADS/ENCLOSURES	NOT YET BEGUN
DRY HYDRANT/FIRE POND	NOT YET BEGUN
CISTERN NEAR UNIT 10	COMPLETE
CISTERN W/PUMPHOUSE	NOT YET COMPLETE
UNIT 8/9 PROpane TANK	COMPLETE (EXISTING)

## NOTES

- THE PURPOSE OF THIS PLAN IS TO SHOW A CONDOMINIUM DEVELOPMENT FOR EXISTING AND PROPOSED INDUSTRIAL UNITS AND ASSOCIATED EASEMENTS FOR LOT 37.
- SEE SHEETS 3-6 FOR BUILDING PLANS.
- THE LOT IS SERVICED BY A WELL ON LOT 3-37 AND TWO SEPTIC SYSTEMS ON LOT 3-37. A NEW WATER SUPPLY IS PROPOSED FROM LOT 3-37-3 IN ACCORDANCE WITH THIS PLAN.
- ASSIGNED PARKING SPACES:
 

UNIT 3:	4 SPACES	#5, 6, 34 & 35
UNIT 4:	4 SPACES	#7, 24, 25 & 26
UNIT 5:	4 SPACES	#8 & 9, 27 & 28
UNIT 6:	4 SPACES	#10, 11, 29 & 30
UNIT 7:	7 SPACES	#12 - 15, 16A, 16B, 16C
UNIT 8:	4 SPACES	#16 & 17, 31, 32 & LOADING "A"
UNIT 9:	4 SPACES	#17A, 18, 19, 33 & LOADING "B"
UNIT 10:	4 SPACES	#20 - 23
UNIT 1:	4 SPACES	#1 - 4 (CONDO 3-37-1)
- THE CONTRACTOR, OWNER, AND ALL OTHER SHALL BE AWARE OF THEIR RESPONSIBILITY TO CONTACT "DIG-SAFE" AT 111 S. BEDFORD ST., BURLINGTON MA. (1800-344-7233) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.



Parking spots 1-4

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