

FB-37-1

RECEIVED
10-24-21



October 18, 2021

Fremont Planning Board
PO Box 120
Fremont, NH 03044

RE: Coopers Corner / Building B – Minor Site Plan Amendment Narrative

The Building B project is an existing foundation consisting of a previously approved drive-through on one end. The intent of the expansion project is to continue the foundation to the limits of the drive-through area and square it off to increase the building's square footage. We are not targeting any retail or service so the drive through will not be required. This would increase the SF of the existing foundation by less than 800 SF.

In addition, on the opposite end of the building, we intend to add additional space to this side of the foundation where there is currently nothing shown on the site plan. The proposed addition to that side of the existing foundation is 30' x 50'.

Our previous rendering showed overhead doors in the front of the building, but we have since moved them to the back of the building addition. This will increase parking count and ease of access at the rear of the building.

Thank you,

Nick Jewett

CHECK LIST FOR PREPARING SITE PLAN REVIEW APPLICATION
(processing of this application will be significantly delayed if it is not complete)

THIS CHECKLIST FORM MUST ACCOMPANY EACH APPLICATION
(signed by the actual owner)

- ☒ A detailed letter of intent
☒ Six (6) full size and eight (8) 11" x 17" sets of plans; at least two (2) of the full size plans will be colored.
☒ A typed current abutters list (checked at the Town Office)
☒ The proper check amount for fees consistent with the Town of Fremont Fee Schedule – currently
\$350.00 for the Site Plan Review Fee
\$350.00 for total of the first three (3) units for Elderly Housing and
\$50.00 for each additional Elderly Housing unit thereafter:
A minimum application fee amount of three hundred and fifty (\$350.00) dollars for up to one hundred thousand (\$100,000.00) dollars of construction cost PLUS two (\$2.00) dollars per thousand over one hundred thousand (\$100,000.00) dollars of construction as levied by the Town shall accompany each application for Site Review.
\$250.00 for each Site Plan Review Amendment
\$115.00 for the advertising
\$ 12.59 per abutter (\$6.00 plus current postage) The Abutters list shall include the actual owner, anyone whose stamp or seal appears on the plan, anyone whose property physically abuts or is directly across a street or river from the subject property) (see NH RSA 672:3)

☒ Your list of requested waivers

☒ I do hereby certify that this application for a Site Plan Review meets all Fremont Zoning Regulation requirements.

☒ A copy of this application has been sent to the Town Engineer and to the Rockingham Planning Commission.

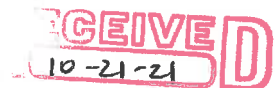
☒ I do hereby agree that I am responsible for all costs for engineering assistance and /or all consulting costs regarding this Site Plan Review as per 1.18-D of the Site Plan Review Regulations.

The application must be sent via certified mail to:
FREMONT PLANNING BOARD
P.O. Box 120
Fremont, New Hampshire 03044

signature:

Date:

10-19-21



APPENDIX "C"
TOWN OF FREMONT

Colors for plans

Green = wetlands

Blue = water

Gray = pavement

Brown = road shoulders/dirt drives

Red = proposed changes

Orange = existing lot lines

Yellow = setbacks (to side & rear lot lines)

Purple = well radius & septic location



APPLICATION FOR MINOR SITE PLAN REVIEW

A Site Plan Review plan shall contain the following information, where applicable, to be considered complete:

Name of Applicant(s): PINE BUCKET LLC
Address: 25 SPAULDING RD FREMONT, NH
Owner(s) of Property concerned: SAME
(If same as above, write "same")

Mailing Address: SAME
(If same as above, write "same")

Contact information:

Location of Property: 003-037-001 - 25 SPAULDING RD.
(Map #, Lot # and Street Address)

Intent of Application: Original Site Plan Review
Amendment to Existing Site Plan Review X

ZONING INFORMATION

Zoning District of Property: VILLAGE
Conditional Use Permit Required: Yes ___ No X

Is the property in the Aquifer Protection District? Yes X No X
Is the property in the Flood Zone? Yes ___ No X

SUBMISSION AND INFORMATION REQUIREMENTS (Section 1.13).

In order for a project to be considered for a Minor Site Plan Review it must not require any criteria of a Major Site Plan Review.

Major Minor (see section 1.8.1 Minor Site Plan Review)

- ☐ ☒ A - Intended site plat must meet all relevant land use regulations in effect at the time of filing.
- ☐ ☒ B - Provide fees and letters as required in section 1.18.
- ☐ C - Provide requested waivers as required in section 1.21.
- ☐ ☒ D - Provide a typed list of names and addresses of all abutters obtained from the Town records, to include applicant(s), not more than five (5) days before the date of submittal of the application.
- ☐ E - **(Major)** Provide six (6) full size and eight (8) 11" x 17" sets of plans; at least two (2) of the full size plans will be colored.
- ☐ ☒ **(Minor)** Provide eight (8) 11" x 17" sets of plans to the Fremont Planning

APPLICANT: _____ Date _____

Board.

All copies must have a plat revision system properly noted. All subsequent submissions must reflect proper plat revision.

- ☐ F- Provide copies of all required State, Federal and Town approvals, including but not limited to: Dredge and Fill, State Highway access, Wetlands Board approval.
- ☐ G- Provide topography maps indicating buildings, water courses, ponds, streams, standing water, exposed rock ledges, and other significant topography references to include natural and manmade features. Contours shall be depicted at two (2) foot intervals, referenced to sea level, reflective of US Geodetic Survey markers.

Clear delineation's of wetlands areas must be provided on all topography maps. Clear delineation of all watershed protection districts must be provided on all topography maps and any septic design plans.

- ☐ ☐ **N/A** H - Provide location and results of each test pit and percolation results shall be submitted to the Planning Board. Information summary with respect to soil conditions capable of supporting on-site water and waste disposal for each lot will be supplied. Test reference markers shall be put in place and maintained during the review process.

- ☐ I - Provide a plan for the type and location of solid/liquid waste disposal facilities.

- ☐ ☐ J - Provide an estimate/calculation of the road traveled mileage and route from the local fire and rescue department.

- ☐ ☐ K - Provide an estimate/calculation of the increased daily average automobile traffic within the Town.

- ☐ ☐ K - 1 - Provide an estimate of noise generations.

- ☐ L - Provide complete plans and profiles for all streets to include:
 - Curve data, horizontal and vertical at the street center lines.
 - Street data at fifty foot (50') intervals, to include cross sections.
 - Intersection, turn-around and/or cul-de-sac radii.
 - All Storm Drainage design.
 - Design of any bridges or culverts.
 - Proposed finished grades of streets and adjacent roadsides within the right-of-way.

- ☐ ☒ M - Provide an architectural rendering showing all elevation views of all proposed buildings and their exterior design. Provide plans reflecting shape, size, height and location of existing structures located on the site and within two hundred feet (200') of the site.

- ☐ N - Provide a parking areas and access plan sufficient for review to insure compliance to applicable standards as set forth in this document.
- ☐ N - 1 The location, size, direction of travel and, if appropriate, curbing, paving, and radii of existing and proposed streets, driveways, access ways and sidewalks within the site and its relationship to the off-site system.
- ☒ N- 2 The size, location and layout of all on-site parking, loading facilities and snow storage areas. The methods and actuals used to provide for directing of traffic patterns and parking.
- ☐ O - Provide a landscaping plan sufficient for review to insure compliance to applicable standards as set forth in this document. The location, type and size of all proposed landscaping and screening as well as a plan for the retention of existing and significant natural features on the site.
- ☐ P - Provide a storm drainage plan, performed by a registered professional engineer, including a plan for the detention and slow release of storm water where necessary, together with supporting calculations. Reference section 1.16.
- ☐ Q - Provide plans for erosion and sediment control. No site plan shall be approved without plans for erosion and sediment control unless a written waiver is applied for and approved by the Planning Board.
- ☐ R- Provide mitigation strategies for all nuisance elements: ie: odor, noise, light, visual effects
- ☒ S - Provide general information and site plan format on all plats:
- | | | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | 1. Proposed site name, name of property owner of record and reference numbers |
| <input type="checkbox"/> | <input type="checkbox"/> | 2. Name, address and phone number of sub-divider and surveyor or engineer |
| <input type="checkbox"/> | <input type="checkbox"/> | 3. Date, north point, plat revision, property map references and reference numbers |
| <input type="checkbox"/> | <input type="checkbox"/> | 4. Names and addresses of owners of abutting properties |
| <input type="checkbox"/> | <input type="checkbox"/> | 5. Location and exact dimensions of all property lines |
| <input type="checkbox"/> | | 6. Location, name and width of all existing and proposed streets, rights-of-way, or easements |
| <input type="checkbox"/> | <input type="checkbox"/> | A. <u>Minor:</u> Existing streets, rights-of-way or easements only. |
| <input type="checkbox"/> | | 7. Sheet size in conformance with the requirements of the Rockingham County Register of Deeds. A margin of at least one inch shall be provided outside ruled border lines on three sides and at least two inches along the left side, or as required by the Register of Deeds |
| <input type="checkbox"/> | | 8. A scale of not less than one (1) inch equals one hundred (100) feet. |
| <input type="checkbox"/> | <input type="checkbox"/> | A. <u>Minor:</u> Must be to scale; applicant may choose the scale. |
| <input type="checkbox"/> | <input type="checkbox"/> | 9. Space for the Planning Board Chairman and Secretary to sign and date the approved plans |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Tax map and parcel number, title and deed reference |

- ☐ 11. A locus map (no smaller than one (1) inch equals one thousand (1000) feet showing the location of the site in relation to the surrounding public street system and the zoning districts and boundaries for the site and the area within one thousand (1,000) feet of the site.
- ☐ 12. Area, in acres and square feet, of the entire site of proposed site prior to development. Acreage, square feet and percentage of total area for the following segments of information; Total area, area left in natural state, area of wetlands, recreation area and area used
- ☐ 13. Area, in acres and square feet, of each proposed site/lot.
Acreage, square feet and percentage of total area for the following segments of information; Total area, area left in natural state, area of wetlands, and area used
- ☐ 14. Clear delineation of wetlands and watershed protection districts peripheral area must be provided.
14.1 Major only: Wetlands shall be delineated by a NH Licensed Wetland Scientist or Soil Scientist.
- ☐ 15. Iron rods, pipes, pins or drill holes must be so noted and placed at all lot corners and angle changes
- ☐ 16. Location of all land intended for public use and any conditions on such use.
- ☐ ☐ 17. Specify the number and type of non-residential units.
Minor = one (1): Major = two (2) or more
- ☐ ☐ 18. Specify the water sources to be designated for fire protection and control. Define the adequacy of water supply for fire protection.
- ☐ ☐ 19. Hours of operation

☐ T- Provide Traffic Impact Analysis
All proposed site plans shall be reviewed by the Planning Board to ascertain that adequate provisions have been made by the owner/agent for traffic safety and congestion. To facilitate this review, the Planning Board may require the developer to provide a full traffic impact analysis when deemed necessary by the Board due to the size, location or traffic-generating characteristics of the proposal.

Traffic impact analysis shall address each of the following:

- Traffic circulation and access, including adequacy of adjacent street and intersections, entrances and exits, traffic flow, sight distances, accident statistics, curb cuts, turning lanes and existing or recommended traffic signals.
- Pedestrian safety and access.
- Off-street parking and loading.
- Emergency vehicle access.
- Snow removal adequacy.

No site plan shall be approved without a traffic impact study and analyses unless a

written waiver is applied for and approved by the Planning Board.

- ☐ ☒ U - The size and location of all public and private utilities including water lines, sewage facilities, gas lines, power lines, telephone lines, fire alarms connections, and other utilities.
- ☐ ☒ V - The location, size and design of proposed signs and other advertising or instructional devices.
- ☐ ☒ N/A W - The location, type and design of outdoor lighting.
- ☐ X - Construction details, including but not limited to pavement, walks, steps, curbing, drainage and structures, fire hydrants, and erosion and sedimentation control techniques.
- ☐ Y - Other exhibits or data that the Planning Board required in order to evaluate adequately the proposed development; such as but not limited to:
1. Information on the composition and quantity of wastewater generated.
 2. Information on air, water, or land pollutants, discharged
 3. Estimates of noise generations
 4. Special Submissions - Erosion and Sediment Control Plans
 5. Listing of all amounts and description of liquids, inflammables, and/or chemicals.
 6. A fiscal study/data relative to the potential impact too the Town may be required during the review process. Special provisions and/or plans may be required if found to bear a financial impact on the Town.

☒ **SUBMIT: A TYPED ABUTTERS MAILING LIST.** You are responsible for the accuracy of this list.
[] Submit: **APPENDIX "B" CHECK LIST FOR PREPARING SITE PLAN REVIEW APPLICATION**

Please insure that your application supports the PURPOSES as noted in the **SITE REVIEW** Regulations. And that you have read, understand and complied with all aspects of the regulations. If you so desire, an opportunity for a **PRE-APPLICATION WORK SESSION** can be scheduled.

Notes:

APPLICANT: NICK JEWETT Date 10/19/21

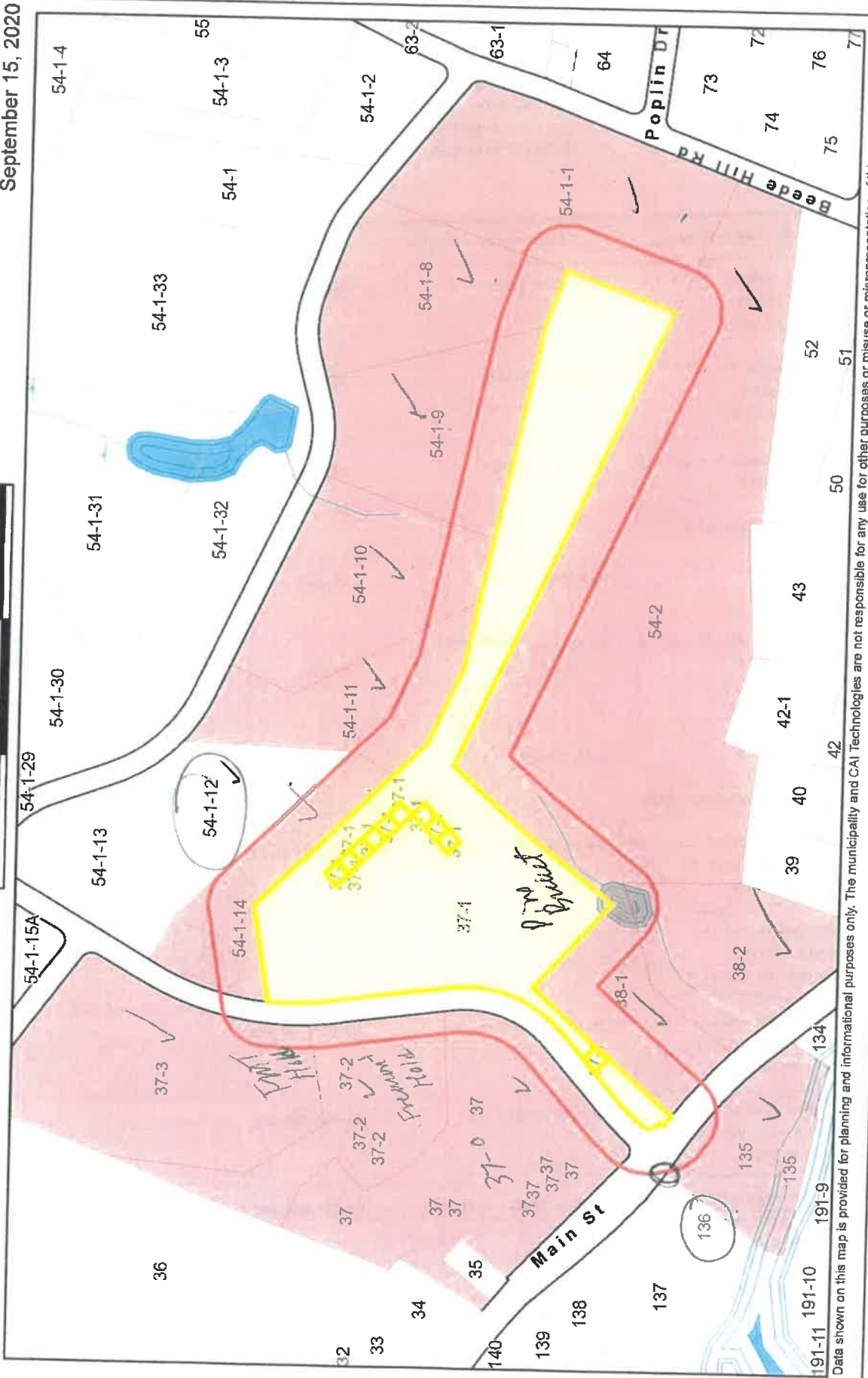


Fremont, NH

1 inch = 300 Feet



September 15, 2020



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

03/08/19 09:17

Town of Fremont

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OWNER NAME / ADDRESS / MAP & LOT
 Sequenced by Map & Lot - Range: First to Last, Status = Not Marked for Deletion
 Detail Lines Included = No Additional Detail
 Selected Bill Codes = *** All Codes/Except 'NONE' *** Codes =

Tax Authority: All Tax Authority

Owner Name/Address	Property Description	Map & Lot
STICKNEY, TRAVIS 296 MAIN STREET FREMONT, NH 03044	296 MAIN STREET	03-031.
ELLIS, DARLENE J 18 MUNSEY DRIVE HAMPTON, NH 03842	300 MAIN STREET	03-032.
O'KEEFE, MICHAEL J & ELLEN M 304 MAIN STREET PO BOX 23 FREMONT, NH 03044-0023	304 MAIN STREET	03-033.
LOCKE, CAROL M 308 MAIN STREET FREMONT, NH 03044	308 MAIN STREET	03-034.
PELLETIER, ALEXA L & PATRICK BROWN BRETTANY M MAIN STREET FREMONT, NH 03044	314 MAIN STREET	03-035.
RAGONESE, MARK A 1 TAYLOR STREET BELLOWS FALLS, VT 05101-1468	MAIN STREET	03-036.
PPM FREMONT HOLDINGS 3, LLC 326 MAIN STREET UNIT 11 FREMONT, NH 03044	326 MAIN STREET UNIT 3	03-037.000.003
257 PORTSMOUTH AVE LLC 39 KNOWLES DRIVE BARRINGTON, NH 03825	326 MAIN STREET UNIT 4	03-037.000.004
PPM FREMONT HOLDINGS 3 LLC 326 MAIN STREET UNIT 11 FREMONT, NH 03044	326 MAIN STREET UNIT 5	03-037.000.005
KDR WELDING & MACHINE LLC 326 MAIN STREET UNIT 6 FREMONT, NH 03044	326 MAIN STREET UNIT 6	03-037.000.006
PPM FREMONT HOLDINGS 7 LLC 326 MAIN STREET UNIT 11 FREMONT, NH 03044	326 MAIN STREET UNIT 7	03-037.000.007

Pink Bucket LLC

1
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(2)

(3)

(2)

(4)

(2)

(3)

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Tax Authority: All Tax Authority

Owner Name/Address	Property Description	Map & Lot
WATERS, GARY J & MARGARET M 6 WASHINGTON WAY KINGSTON, NH 03848	326 MAIN STREET UNIT 8	03-037.000.008
WATERS, GARY J & MARGARET M 6 WASHINGTON WAY KINGSTON, NH 03848	326 MAIN STREET UNIT 9	03-037.000.009
NISBET REALTY LLC 326 MAIN STREET UNIT 11 FREMONT, NH 03044	326 MAIN STREET UNIT 10	03-037.000.010
UNIT ONE FIREHOUSE LLC 326 MAIN STREET UNIT 11 FREMONT, NH 03044	326 MAIN STREET UNIT 1	03-037.001.001
PINE BUCKET LLC TOTAL INTEGRATED MGMT SOL LLC 25 SPAULDING ROAD SUITE 17-2 FREMONT, NH 03044	25 SPAULDING ROAD UNIT 14	03-037.001.014
PINE BUCKET LLC TOTAL INTEGRATED MGMT SOL LLC 25 SPAULDING ROAD SUITE 17-2 FREMONT, NH 03044	25 SPAULDING ROAD UNIT 15	03-037.001.015
PINE BUCKET LLC TOTAL INTEGRATED MGMT SOL LLC 25 SPAULDING ROAD SUITE 17-2 FREMONT, NH 03044	25 SPAULDING ROAD UNIT 16	03-037.001.016
PINE BUCKET LLC TOTAL INTEGRATED MGMT SOL LLC 25 SPAULDING ROAD SUITE 17-2 FREMONT, NH 03044	25 SPAULDING ROAD UNIT 17	03-037.001.017
PINE BUCKET LLC TOTAL INTEGRATED MGMT SOL LLC 25 SPAULDING ROAD SUITE 17-2 FREMONT, NH 03044	SPAULDING ROAD	03-037.001.018
PINE BUCKET LLC TOTAL INTEGRATED MGMT SOL LLC 25 SPAULDING ROAD SUITE 17-2 FREMONT, NH 03044	SPAULDING ROAD	03-037.001.019
PINE BUCKET LLC TOTAL INTEGRATED MGMT SOL LLC 25 SPAULDING ROAD SUITE 17-2 FREMONT, NH 03044	SPAULDING ROAD	03-037.001.020
PINE BUCKET LLC TOTAL INTEGRATED MGMT SOL LLC 25 SPAULDING ROAD SUITE 17-2 FREMONT, NH 03044	SPAULDING ROAD	03-037.001.021

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Owner Name/Address	Property Description	Map & Lot
ONE BUCKLE LLC TOTAL INTEGRATED MGMT SOL LLC 25 SPAULDING ROAD SUITE 17-2 FREMONT, NH 03044 <i>RAYMOND NH 03077</i>	SPAULDING ROAD	03-037.001.022
PPM FREMONT HOLDINGS LLC 326 MAIN STREET UNIT 11 FREMONT, NH 03044	326 MAIN STREET UNIT 11	03-037.002.011
PPM FREMONT HOLDINGS LLC 326 MAIN STREET UNIT 11 FREMONT, NH 03044	SPAULDING ROAD	03-037.003
GLOBAL TOWER PARTNERS C/O PROPERTY TAX DEPT PO BOX 723597 ATLANTA, GA 31139	326 MAIN STREET UNIT 13	03-037.007
MERRILL, PETER B & JENNIFER M MAIN STREET FREMONT, NH 03044	342 MAIN STREET	03-038.001
WALKER, JOANNE + THOMAS A TRUSTEES GEBBES, KELLY A 350 MAIN STREET FREMONT, NH 03044	350 MAIN STREET	03-038.002
SHIPULA, PETER A 360 MAIN STREET FREMONT, NH 03044	360 MAIN STREET	03-039.
MARR, NICHOLE M 368 MAIN STREET FREMONT, NH 03044	368 MAIN STREET	03-040.
DUBE, ANDREW J & KRISTINA B 374 MAIN STREET FREMONT, NH 03044	374 MAIN STREET	03-041.
MAYNARD, ERIC W 378 MAIN STREET FREMONT, NH 03044	378 MAIN STREET	03-042.
SOUCIE, TRACY A & WAYNE A 380 MAIN STREET FREMONT, NH 03044	380 MAIN STREET	03-042.001

4 Mary Kay Drive Brentwood, NH 03833

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Tax Authority: All Tax Authorities

Owner Name/Address	Property Description	Map & Lot
BIELECKI, BRYAN K 46 FROST LANE FREMONT, NH 03044	46 FROST LANE	03-054.001
LECAIN, PAUL R 56 BEEDE HILL ROAD PO BOX 4 FREMONT, NH 03044-0004	56 BEEDE HILL ROAD	03-054.001.001
IMBRACIO, LEE-ANN & ANDREW C 58 BEEDE HILL ROAD FREMONT, NH 03044	58 BEEDE HILL ROAD	03-054.001.002
FONTANA, THOMAS 74 BEEDE HILL ROAD FREMONT, NH 03044	74 BEEDE HILL ROAD	03-054.001.003
BERANA, THOMAS D & MEGHAN K TRUST THE MARTIN, TRUSTEE 97 NORTH ROAD UNIT 1 FREMONT, NH 03044	4 BLUEFISH DRIVE	03-054.001.004
PERREAU TTEE, JOHN D 30 BLUEFISH DRIVE FREMONT, NH 03044	30 BLUEFISH DRIVE	03-054.001.005
MARRAMA, STEVEN F 38 BLUEFISH DRIVE FREMONT, NH 03044	38 BLUEFISH DRIVE	03-054.001.006
WOODS, VENUS M VENUS MARIE WOODS REV TR 42 BLUEFISH DRIVE FREMONT, NH 03044	42 BLUEFISH DRIVE	03-054.001.007
ROBINSON TTEES, JULIAN L & MAR ROBINSON FAM REV TRUST 37 FROST LANE FREMONT, NH 03044	37 FROST LANE	03-054.001.008
FITZGERALD, TIMOTHY J & JOANN 35 FROST LANE FREMONT, NH 03044	35 FROST LANE	03-054.001.009
SCHIPANO, ANTHONY J & KATLIN M 27 FROST LANE FREMONT, NH 03044	27 FROST LANE	03-054.001.010

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Tax Authority: All Tax Authori

Owner Name/Address	Property Description	Map & Lot
BIJEOL, KARY & JAMES 25 FROST LANE FREMONT, NH 03044	25 FROST LANE	03-054.001.011
WRIGHT, CHRISTOPHER ANDREW 17 FROST LANE FREMONT, NH 03044	17 FROST LANE	03-054.001.012
DELAP, DOUGLAS G & ANGELA P 7 FROST LANE FREMONT, NH 03044	7 FROST LANE	03-054.001.013
POTVIN JR, LAWRENCE R 47 SPAULDING ROAD FREMONT, NH 03044	47 SPAULDING ROAD	03-054.001.014
BILLBROUGH, TIMOTHY J & JOCELY 66 SPAULDING ROAD FREMONT, NH 03044	66 SPAULDING ROAD	03-054.001.015
MARTIN, CHARLES F & SHANNON L 62 SPAULDING ROAD FREMONT, NH 03044	62 SPAULDING ROAD	03-054.001.015.00A
HICKS, HAYDEN C 80 SPAULDING ROAD FREMONT, NH 03044	80 SPAULDING ROAD	03-054.001.016
ELDER, DEAN R & MICHELLE R 106 SPAULDING ROAD FREMONT, NH 03044	106 SPAULDING ROAD	03-054.001.017
MEEHAN, BRANDON P 116 SPAULDING ROAD FREMONT, NH 03044	116 SPAULDING ROAD	03-054.001.018
NELSON, LAURA B & NOAH 126 SPAULDING ROAD FREMONT, NH 03044	126 SPAULDING ROAD	03-054.001.019
BELPERRON, PIERRE A & SUSAN P 130 SPAULDING ROAD FREMONT, NH 03044	130 SPAULDING ROAD	03-054.001.020
SEQUINO, JOSEPH 127 SPAULDING ROAD FREMONT, NH 03044	127 SPAULDING ROAD	03-054.001.021

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Owner Name/Address	Property Description	Map & Lot
MEUSE, ALFRED P 32 BEEDE HILL ROAD FREMONT, NH 03044	BEEDE HILL ROAD L/O	03-054.002
PERREAULT, RAYMOND D & SHAWN M 92 BEEDE ROAD FREMONT, NH 03044	92 BEEDE ROAD	03-055.
TOWN OF FREMONT PO BOX 120 FREMONT, NH 03044-0120	BEEDE HILL ROAD CONSERVATION	03-056.
TULLY, DOROTHY & CHRISTOPHER HARRIS, MARK W & MITCHELL G RL ROSEMAN SUPP NEEDS TRUST 116 BEEDE HILL ROAD FREMONT, NH 03044	116 BEEDE HILL ROAD	03-056.001
MAC NEIL, SCOTT C & KATELYN C COPP, ALEXANDRA M 35 MAIN STREET 118 BEEDE HILL RD NEW DURHAM, NH 03855-2204 FREMONT NH 03044	118 BEEDE HILL ROAD	03-056.002
BEAULIEU, CHRISTINA & NATHAN GEGHERE, BRIAN P 136 BEEDE HILL ROAD FREMONT, NH 03044	136 BEEDE HILL ROAD	03-056.003
LEBLANC, JOSEPH & DONNA 138 BEEDE HILL ROAD FREMONT, NH 03044	138 BEEDE HILL ROAD	03-056.004
BELANGER, MATTHEW C. TORRES, CHRISTIAN 160 BEEDE HILL ROAD FREMONT, NH 03044	160 BEEDE HILL ROAD	03-056.005
CHAPLIN, MELANIE L 180 BEEDE HILL ROAD FREMONT, NH 03044	180 BEEDE HILL ROAD	03-056.006
BROGNA, ANTHONY M 182 BEEDE HILL ROAD FREMONT, NH 03044	182 BEEDE HILL ROAD	03-056.007
LAMBERT, SHEILA L & BRANDT L 188 BEEDE HILL ROAD FREMONT, NH 03044	188 BEEDE HILL ROAD	03-056.008

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DAVIS, MICHAEL 397 MAIN STREET FREMONT, NH 03044	397 MAIN STREET	03-125.
BRAID, PAMELA D 391 MAIN STREET FREMONT, NH 03044	391 MAIN STREET	03-126.
SMITH, BRIAN S & BRENDA S 377 MAIN STREET FREMONT, NH 03044	377 MAIN STREET	03-127.
MILDE, HELMUT I & LESLIE F 373 MAIN STREET PO BOX 14 FREMONT, NH 03044-0014	373 MAIN STREET	03-128.
SMITH, KATHLEEN M ANDOWN ROAD PO BOX 153 FREMONT, NH 03044-0153	371 MAIN STREET	03-129.
WATKINS, PAUL M 367 MAIN STREET FREMONT, NH 03044	367 MAIN STREET	03-130.
DAVIES, ELIZABETH R 363 MAIN STREET FREMONT, NH 03044	363 MAIN STREET	03-131.
LYONS, EDWARD G & DONNA 359 MAIN STREET FREMONT, NH 03044	359 MAIN STREET	03-132.
JANVRIN, KEITH 355 MAIN STREET FREMONT, NH 03044	355 MAIN STREET	03-133.
LACROIX, KEITH A & ASHLEY M 353 MAIN STREET FREMONT, NH 03044	353 MAIN STREET	03-134.
LENNON TTEES, JOHN & JOAN LENNON FAM REV TR PO BOX 114 FREMONT, NH 03044-0114	337 MAIN STREET	03-135. ✓

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Town of Fremont

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OWNER NAME / ADDRESS / MAP & LOT
 Sequenced by Map & Lot - Range: First to Last, Status = Not Marked for Deletion
 Detail Lines Included = No Additional Detail
 Selected Bill Codes = *** All Codes/Except 'NONE' *** Codes =

Tax Authority: All Tax Authority

Owner Name/Address	Property Description	Map & Lot
ZAGAMI, NICHOLAS J 90 AIRPORT DRIVE YORK, ME 03909 ✓	333 MAIN STREET	03-136.
PHILLIPS FAMILY TRUST REGINA PHILLIPS, TRUSTEE 1 FINE PLACE FRENCH CAMP, MS 09745	325 MAIN STREET	03-137.
LINDEMAN, TIMOTHY H 319 MAIN STREET FREMONT, NH 03044	319 MAIN STREET	03-138.
JONES, NATHAN PARADISE CONSTR GROUP LLC 7 BLACKWOOD AVENUE BILLERICA, MA 01821-3518	313 MAIN STREET	03-139.
ROGERS, DAVID 307 MAIN STREET FREMONT, NH 03044	307 MAIN STREET	03-140.
WHITE TTEE, CHARLES A CA WHITE BA RISLOVE REV TR 303 MAIN STREET FREMONT, NH 03044	303 MAIN STREET	03-141.
ROBINSON, JOAN A 299 MAIN STREET FREMONT, NH 03044	299 MAIN STREET	03-142.
TOWN OF FREMONT PO BOX 120 FREMONT, NH 03044-0120	295 MAIN STREET	03-143.
DUNBAR, TROY L 291 MAIN STREET FREMONT, NH 03044	291 MAIN STREET	03-144.
ROBINSON, JANET H 287 MAIN STREET FREMONT, NH 03044	287 MAIN STREET	03-145.
O'BRIEN, KRISTY 259 MAIN STREET FREMONT, NH 03044	259 MAIN STREET	03-146.

